

FINAL DEVELOPMENT PLAN MOUNTAIN SHADOWS FILING NO. 2

3852378 Pages: 1 of 9
08/01/2013 10:28 AM R Fee: \$91.00
Steve Monforton, Clerk and Recorder, Weld County, CO

DEVELOPER/APPLICANT
MSP CORPORATION
720 SOUTH COLORADO BLVD
SUITE 940 NORTH TOWER
DENVER, COLORADO 80246
CONTACT: MARCUS PALKOWITSH
MARCUS@MSPCOMPANIES.COM

OWNER
MSP CORPORATION
720 SOUTH COLORADO BLVD
SUITE 940 NORTH TOWER
DENVER, COLORADO 80246
CONTACT: MARCUS PALKOWITSH
MARCUS@MSPCOMPANIES.COM

TECHNICAL CONSULTANTS

ENGINEER:
J3 ENGINEERING, INC.
100 EAST 17TH STREET
CENTENNIAL, COLORADO 80111
(303) 368-5601
CONTACT: JASON HAFNER
JHAFNER@J3ENGINEERING.NET

SURVEYOR:
FRONTIER SURVEYING, INC.
352 NORFOLK STREET
DENVER, CO 80231
(303) 340-0113
CONTACT: DON LAMBERT
DLAMBERT@FRONTIERSURVEYING.NET

TRAFFIC IMPACT ANALYSIS:
BENCHMARK OF CHEYENNE, P.C.
100 EAST 17TH AVENUE, SUITE 620
CHEYENNE, WY 82001
(307) 634-5064
CONTACT: KELLY HAFNER
KELLY@BENCHMARKENGINEERS.COM

ENVIRONMENTAL STUDY:
TERRACON
301 N. Howes
PO Box 503
Fort Collins, CO 80521
(970) 498-1910
CONTACT: DARRYL PAUL
JCPGRAVES@TERRACON.COM

LEGAL DESCRIPTION

A parcel of land located in the East Half of Section 1, Township 2 North, Range 68 West of the Sixth Principal Meridian, Town of Firestone, County of Weld, State of Colorado being all of Tract B, Mountain Shadows Subdivision Filing No. 1 as recorded at Reception No. 30037982 of the records of the Clerk and Recorder of Weld County, Colorado.

Containing 39.625 acres more or less.

PROJECT CONCEPT

This project is intended to provide for a single family residential development in this area of the Town of Firestone. The residential types are intended to provide an architectural type consistent with modern subdivisions found in the Firestone and Longmont regions.

This project incorporates part of the property included with the initial Mountain Shadows Annexation to the Town of Firestone. A future adjacent commercial area annexed to the Town of Firestone with Mountain Shadows is not included with this development plan. This PDP does not apply to Mountain Shadows Filing No. 1.

This project will be consistent with the Town of Firestone Comprehensive Plan. Both short and long term development of the residential areas within this project will be complementary to the region and they will provide a necessary residential base for the Town of Firestone and the expanding employment centers of this region. The Development Plan is consistent with the Town of Firestone approved Outline Development Plan (September 2000) for Mountain Shadows. This PDP is consistent with the PDP for this property.

LAND USE

Current land use is vacant agricultural. The proposed land use is single family residential for this property. The current zoning is Residential A (R-A). Surrounding land use is agricultural and rural residential. See the Land Use Table on this sheet for specific details on site areas.

RESIDENTIAL DENSITIES

Residential density is 126 / 39.625 = 3.18 residences per acre. This area is part of a larger residential development of 101,542 acres. The maximum area density expected is 131 + 126 / 101.54 = 2.53 which will meet the 0.3 dwelling units per acre required by the Town Development Standards.

ENVIRONMENTAL IMPACT MITIGATION

There are no known wetlands, streams, or predominately tree covered areas on this site. At the time of this report, there are no known historical or archeologically significant sites associated with this property. A Phase I Environmental Assessment #20007735, by Terracon, (October 11, 2000) is provided with this Final Development Plan.

All trees, agricultural buildings and equipment, well and irrigation buildings, and existing dirt roadways will be removed within the boundary of the plat.

All trash and stained soil areas as identified with the Phase I Environmental Assessment and topographical survey shall be removed to an authorized landfill prior to construction. Buried debris encountered during construction shall also be removed to an authorized landfill.

PRIVATE MAINTENANCE AND ENFORCEMENT

Landscaping for Tracts O, P, Q, and R shall be owned and maintained by the Home Owners Association. No irrigation is required for these Tracts.

PARKS, TRAILS, AND OPEN SPACE

An internal trail system for the proposed areas is shown with the FDP Site Plan. Sufficient park dedications for the entire site were made as part of Mountain Shadows Filing No. 1 land dedications. Additional tracts are provided in this final development plan for internal pedestrian pathways.

Internal sidewalks are made of Firestone drive over curb and gutter with attached walk. Pedestrian access trails within Tracts O, P, Q, and R shall be 8' wide concrete. The 10' trail in Tract N has been constructed. The thickness of all trails shall be approved by the Town Engineer.

The Town Planner shall be contacted when all trails on public lands or HOA tracts are staked for construction, so that they can be approved by the Town Planner and Public Works Director in the field.

Refer to the landscape and irrigation plans for Mountain Shadows Filing No. 1 FDP for Tract A and for any parks and tracts located outside of the Mountain Shadows Filing No. 2 boundary. Refer to Site Plan sheets FDP3 and FDP4 for the landscaping of Tracts N, O, P, Q, R, and S.

UTILITIES

The following is a general description of the utility systems and public services intended to serve the project. The following entities would provide the following services:

Police Protection	Town of Firestone
Potable Water	Town of Firestone
Street Maintenance	Town of Firestone
Sanitary Sewer	St. Vrain Sanitation District
Ambulance/Fire Protection	Frederick-Firestone Fire Protection District
Schools	St. Vrain Valley School District
Electric	United Power
Natural Gas	Source Gas
Telephone	Century Link

CONTROLS

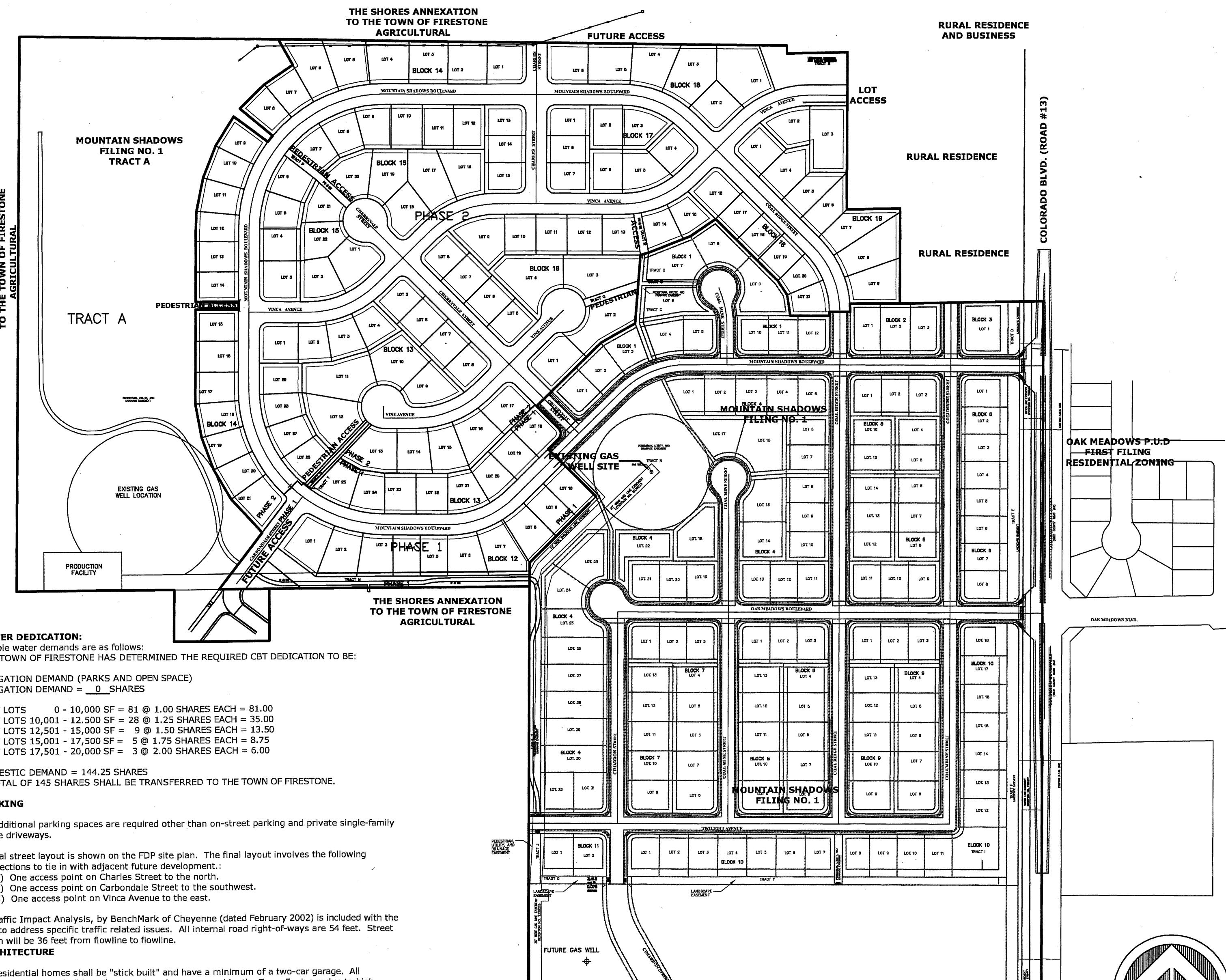
Refer to the Private Maintenance and Enforcement section above.

DRAINAGE

This site is relatively level with drainage and agricultural grading running from high areas to the south to lower areas in the north and northwest. It is not anticipated that major grading changes are to occur. Drainage is proposed to be routed to detention facilities in the northwest corner of this site by a landscaped area channel, curb and gutter, and storm sewer network. Runoff is conveyed via a large drainage channel onsite, which conveys runoff from Mountain Shadows Filing No. 1 and discharges into the existing pond located on the south side of the property. The drainage plan for this area will incorporate requirements of a major drainage plan for this area of the Town of Firestone. A final drainage analysis was provided by BenchMark of Cheyenne, dated February 2002, for the entire Mountain Shadows development. A final drainage analysis for Mountain Shadows Filing No. 2 was prepared by J3 Engineering, dated Revised January 2013.

Town of Firestone, County of Weld, State of Colorado

SHEET 1 OF 8



WATER DEDICATION:

Potable water demands are as follows:
THE TOWN OF FIRESTONE HAS DETERMINED THE REQUIRED CBT DEDICATION TO BE:

IRRIGATION DEMAND (PARKS AND OPEN SPACE)

IRRIGATION DEMAND = 0 SHARES

OF LOTS 0 - 10,000 SF = 81 @ 1.00 SHARES EACH = \$1.00
OF LOTS 10,001 - 12,500 SF = 28 @ 1.25 SHARES EACH = 35.00
OF LOTS 12,501 - 15,000 SF = 9 @ 1.50 SHARES EACH = 13.50
OF LOTS 15,001 - 17,500 SF = 5 @ 1.75 SHARES EACH = 8.75
OF LOTS 17,501 - 20,000 SF = 3 @ 2.00 SHARES EACH = 6.00

DOMESTIC DEMAND = 144.25 SHARES
A TOTAL OF 145 SHARES SHALL BE TRANSFERRED TO THE TOWN OF FIRESTONE.

PARKING

No additional parking spaces are required other than on-street parking and private single-family home driveways.

A final street layout is shown on the FDP site plan. The final layout involves the following connections to tie in with adjacent future development:

- One access point on Charles Street to the north.
- One access point on Carbendale Street to the southwest.
- One access point on Vinca Avenue to the east.

A Traffic Impact Analysis, by BenchMark of Cheyenne (dated February 2002) is included with the FDP to address specific traffic related issues. All internal road right-of-ways are 54 feet. Street width will be 36 feet from flowline to flowline.

ARCHITECTURE

All residential homes shall be "stick built" and have a minimum of a two-car garage. All residential homes shall have basements unless approved by the Town Engineer due to high groundwater conditions. Architectural details showing the design of the homes is shown on Sheet FDP 9. The following home placement standards shall apply:

A. The intent for home placement for this FDP is to reduce linear building planes for constructed housing. A building plane shall be defined as a portion of straight roadway where constructed homes of 5 (or more) have approximately the same front and rear building wall locations.

Housing in these locations and adjacent to public areas shall minimize the planar look of housing by varying the house placement on adjacent lots and from lots across the street from each other.

B. Provide four-sided architecture for any elevation that faces the side street for a corner lot or faces park and open spaces areas. Generally, such architecture shall include the addition of bay windows and/or gables, architectural detailing in terms of color, and materials, the addition of rock, stone, and/or brick pavers in the rear yards. In addition, enhanced elevations shall include a minimum of three of the following design standards:

- 1" x 12" trim piece (belly band)
- Window shutters;
- Window grids;
- 1" x 4" window trim;
- Framed windows;
- Varying gable siding such as shingles, shakes or board and bat;
- Gable decoration such as louvered vents
- One Window

C. Home models shall vary on adjacent lots

As required by the Town Development Standards, the following height limitations are included with this development plan:

Residential Areas - Maximum Height = 38'
Building heights are calculated as defined in the Uniform Building Code

D. A minimum of 25% of the homes per block shall have a minimum of 9 square foot of rock, brick or stone on the front elevation of the home and a minimum of 10% of the homes per block shall have a minimum of 47 square foot of rock, brick, or stone on the front elevation of the home. When utilized, the rock, brick or stone shall wrap around the side of the home at least two feet.

THE SHORES ANNEXATION TO THE TOWN OF FIRESTONE AGRICULTURAL

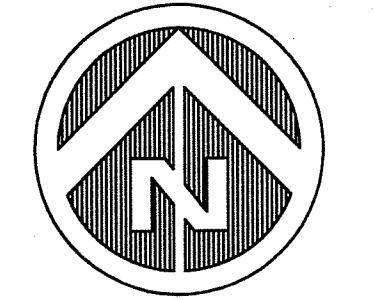
FUTURE ACCESS

LOT ACCESS

RURAL RESIDENCE

THE SHORES ANNEXATION
TO THE TOWN OF FIRESTONE

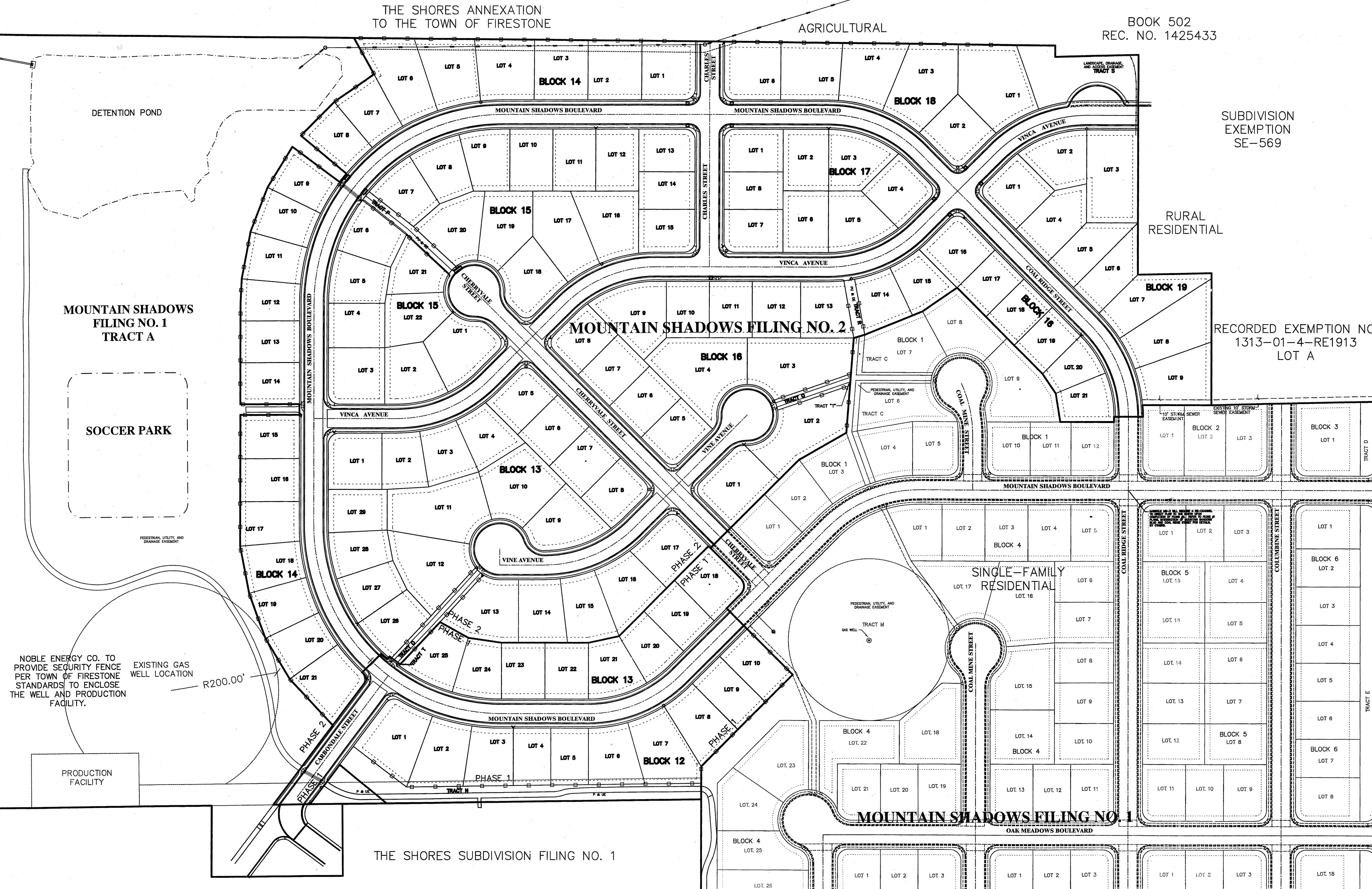
BOOK 502
REC. NO. 1425433



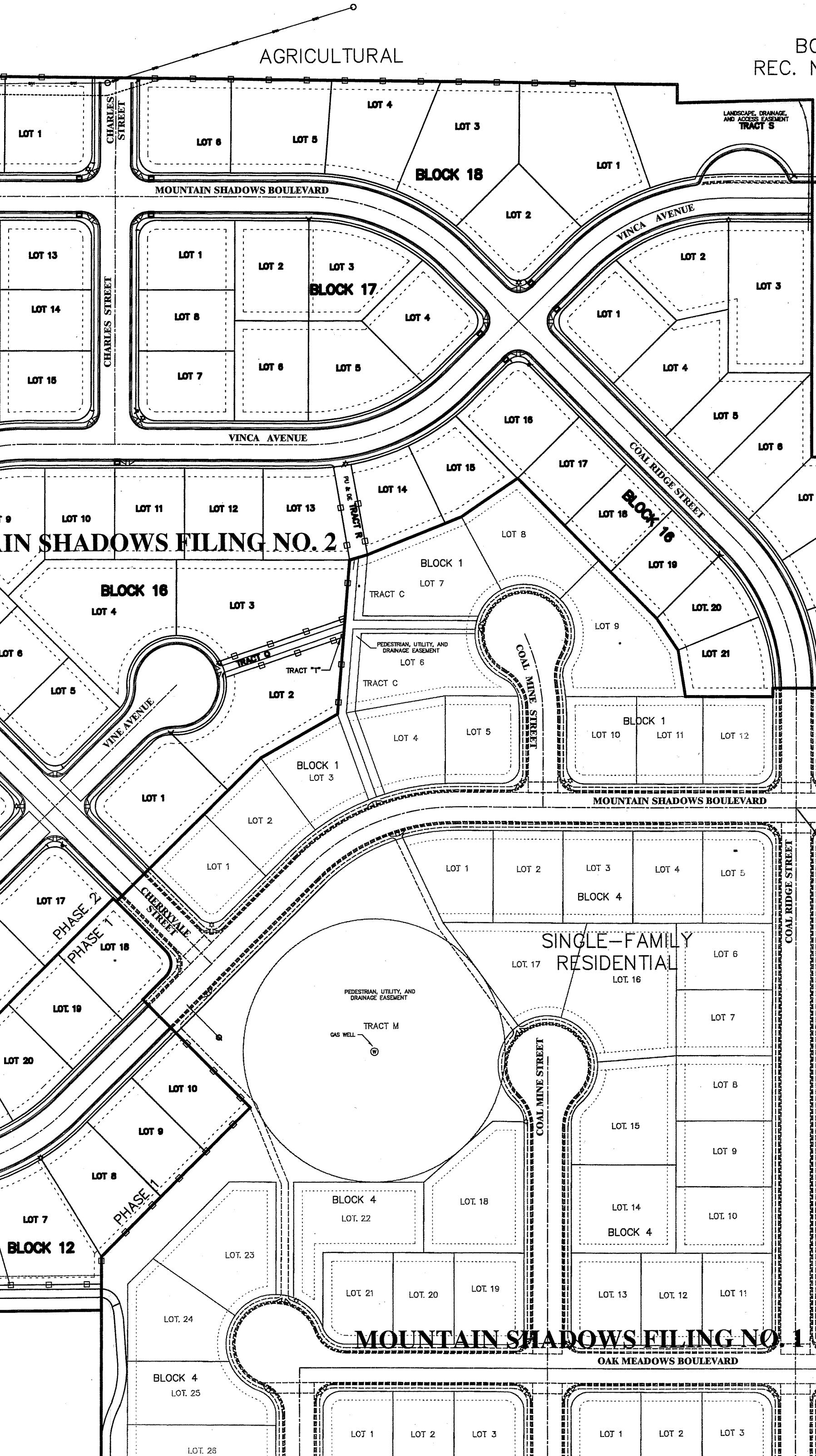
0 50 100 200
(IN FEET)
1 inch = 100 ft.

THE SHORES ANNEXATION
TO THE TOWN OF FIRESTONE

AGRICULTURAL



THE SHORES SUBDIVISION FILING NO. 1



SUBDIVISION
EXEMPTION
SE-569

RECORDED EXEMPTION NO.
1313-01-4-RE1913
LOT A

RECORDED

EXEMPTION

NO. 1

**FINAL DEVELOPMENT PLAN
MOUNTAIN SHADOWS FILING NO. 2
SITE PLAN**

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

MSP CORPORATION
720 SOUTH COLORADO BLVD
SUITE 940 NORTH TOWER
DENVER, COLORADO 80246
TEL: 303-399-9804
FAX: 303-399-3631
CONTACT: MARCUS PALKOWITCH

10 745-13 TOWN OF FIRESTONE COMMENTS
9 658-13 MINOR CHANGES TO PHASE 1
8 5410-13 TOWN OF FIRESTONE COMMENTS
7 7373-13 TOWN OF FIRESTONE COMMENTS
6 1112-12 RESUBMISSION TO CITY

5 9-12-06 PER TOWN OF FIRESTONE COMMENTS
4 3-14-06 PER TOWN OF FIRESTONE COMMENTS
3 11-07-05 PER TOWN OF FIRESTONE COMMENTS

2 7-12-05 PER TOWN OF FIRESTONE COMMENTS
1 7-12-02 PER TOWN OF FIRESTONE COMMENTS

0 7-15-13 TOWN OF FIRESTONE COMMENTS

REVISIONS



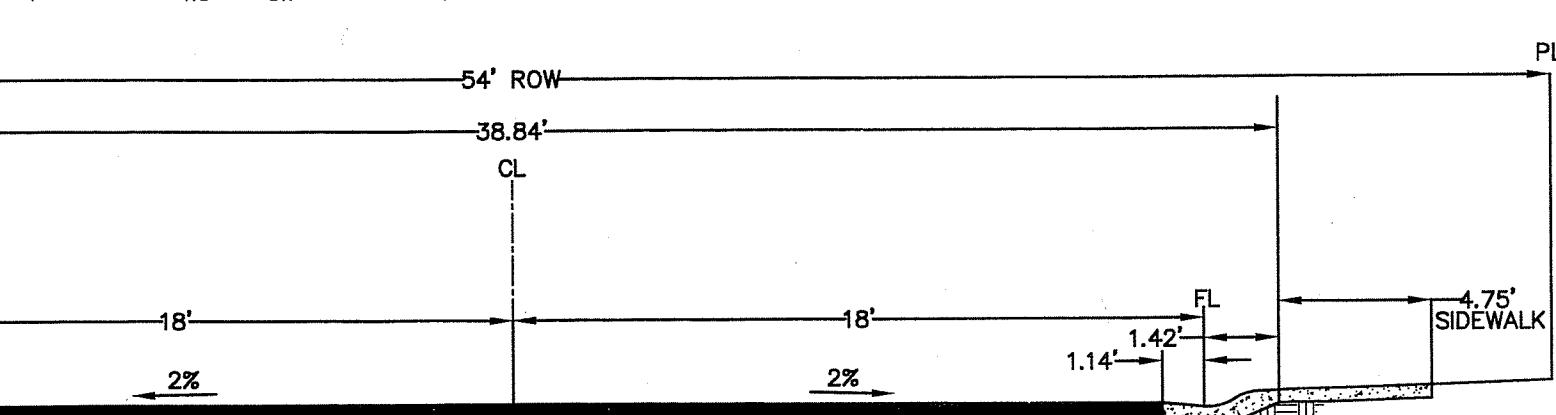
Project Number:
2003002
Drawn By:
ACE
Checked By:
JAM

Designed By:
JAM

Issue Date:
06/13/03

Sheet Number:
FDP2

Sheet 2 of 9



TYPICAL RESIDENTIAL STREET SECTION
NOT TO SCALE

FENCE LEGEND
□ = MANDATORY TWO-RAIL PVC FENCING BY HOMEOWNER
(ABUTTING ALL TRACTS AND BOUNDARY LINE)

PHASING PLAN DATA:

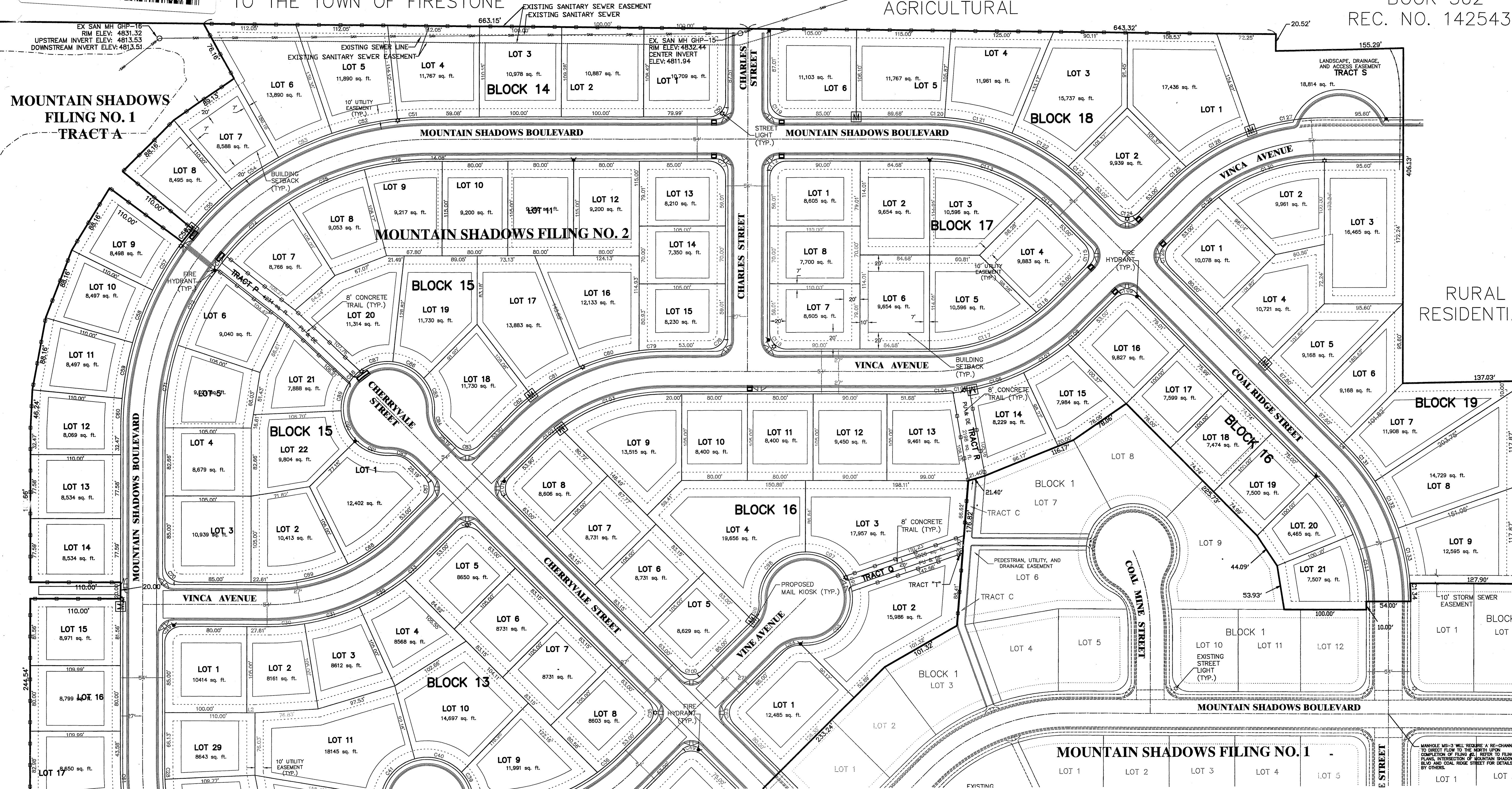
PHASE	TOTAL AREA	NO. OF LOTS
1	5.5 ACRES	18 LOTS
2	34.1 ACRES	108 LOTS
Total	39.6 ACRES	126 LOTS

Firestone Information Block
Name of Submittal: Mountain Shadows
Type of Submittal: F.D.P.
Filing Number: Filing No. 2
Phase Number: PHASE 1 & PHASE 2
Site Name: MOUNTAIN SHADOWS SITE PLAN
Preparation Date: 1/29/04
Revision Date: 7/14/06
Revision Date: 9/12/06
Revision Date: 1/12/02
Revision Date: 7/13/13
Revision Date: 6/13/13
Revision Date: 6/8/13
Revision Date: 7/13/13
Sheet Number: 2 of 9

3952379 Pages: 3 of 9
5/6/2013 10:20 AM R Fee:\$91.00
State of Colorado Recorder, Weld County, Co

THE SHORES ANNEXATION TO THE TOWN OF FIRESTONE

BOOK 502
REC. NO. 1425433



LEGEND

- = PROPOSED STREET LIGHT (70 WATT POST HEAD) LOCATION
- = EXISTING STREET LIGHT (70 WATT POST HEAD) LOCATION
- = PROPOSED MUTCD R1-1 (30"x30" STOP SIGN) LOCATION
- = MANDATORY TWO-RAIL PVC FENCING BY HOMEOWNER (ABUTTING ALL TRACTS AND BOUNDARY LINES)

NOTE:

SEE FINAL PLAT FOR CURVE DIMENSIONS.

LANDSCAPING

TRACT S SHALL BE SEDED WITH THE FOLLOWING SEED MIX:

FAIRWAY CRESTED WHEAT	25%
WESTERN WHEAT 'BARTON'	25%
LINCOLN SMOOTH BROME	15%
RUSSIAN WILD RYE	20%
BLUE GRAMA	15%
TOTAL	100%
	250 lbs./acre (6 lbs./1,000 S.F.)

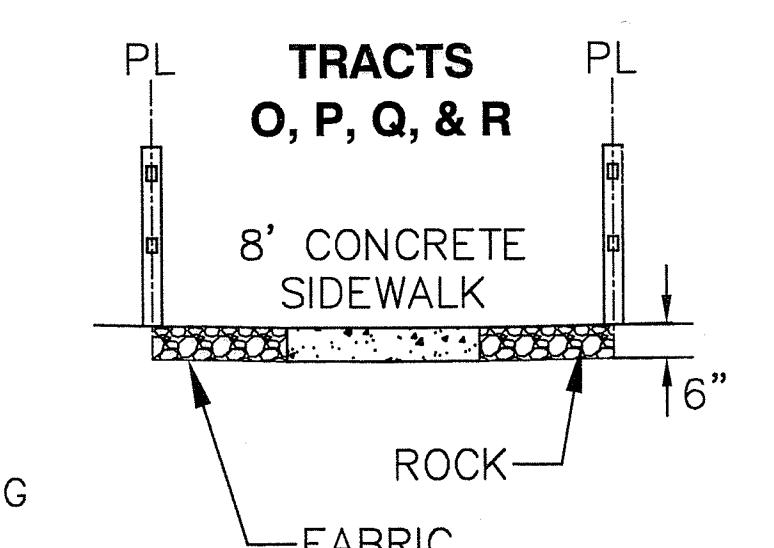
REFER TO THE RECORDED AS-BUILTS FOR MOUNTAIN SHADOWS FILING NO. 1 FDP FOR THE LANDSCAPING AND IRRIGATION PLANS FOR TRACT A.

THE SEED MIX FOR TRACT S IS A DROUGHT TOLERANT SEED MIX. DEVELOPER TO WATER SEED AS NECESSARY UNTIL GRASS IS ESTABLISHED. NO IRRIGATION IS NECESSARY.

TRACTS O, P, Q, & R:

NO IRRIGATION IS REQUIRED FOR THESE TRACTS.

ALL STRIPS BETWEEN THE PROPOSED 8' CONCRETE SIDEWALK AND THE TRACT BOUNDARY ARE TO BE LANDSCAPED WITH A MIX OF BUFF AND GREY COLORED 1½"-3" WASHED LOCAL RIVER ROCK (60% MIX) AND 4"-6" WASHED LOCAL RIVER COBBLE (40% MIX) TO A DEPTH OF 6". INSTALL WATER PERMEABLE FILTRATION FABRIC OF FIBERGLASS OR POLYPROPYLENE FABRIC (MIRAFI, TYPAR, TREVIRA, OR APPROVED EQUAL) UNDER ROCK PER MANUFACTURERS RECOMMENDATIONS. SEE DETAIL THIS SHEET. NO IRRIGATION IS REQUIRED FOR THESE TRACTS.



Firestone Information Block	
Name of Submitter:	Mountain Shadows
Type of Submittal:	F.D.P.
Filing Number:	Filing No. 2
Phase Number:	PHASE 1 & PHASE 2
Sheet Title:	SITE PLAN
Preparation Date:	5/27/13
Revision Date:	7/3/13
Revision Date:	7/7/13
Revision Date:	9/12/13
Revision Date:	9/12/13
Revision Date:	12/12/13
Revision Date:	1/23/14
Revision Date:	1/23/14
Revision Date:	6/14/13
Revision Date:	6/18/13
Revision Date:	6/15/13
Issue Date:	06/13/03
Sheet Number:	FDP3

ENGINEERING
CONSULTANTS

Contact Jason A. Monforton, PE
650 S. Paris St., Suite B ~ Centennial, CO 80111-6500
(303) 368-5601 ~ FAX: (303) 368-5603
Email: jmonforton@Engineering.net

FINAL DEVELOPMENT PLAN MOUNTAIN SHADOWS FILING NO. 2

SITE PLAN

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

MSP CORPORATION

720 SOUTH COLORADO BLVD
SUITE 940, NORTH TOWER
DENVER, COLORADO 80246

TEL: 303-399-8804
FAX: 303-399-6331

CONTACT: MARCUS PALKOWSKI

REVISIONS

10-7-13 TOWN OF FIRESTONE COMMENTS

9-6-13 MINOR CHANGES TO PHASE 1

8-15-13 TOWN OF FIRESTONE COMMENTS

7-1-13 TOWN OF FIRESTONE COMMENTS

6-11-13 RESUBMISSION TO CITY

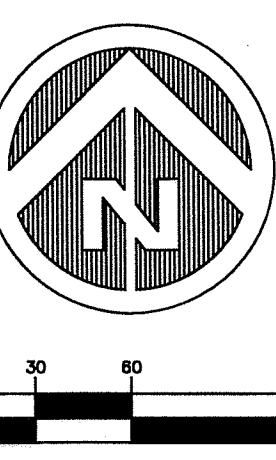
5-9-13 PER TOWN OF FIRESTONE COMMENTS

4-3-13 PER TOWN OF FIRESTONE COMMENTS

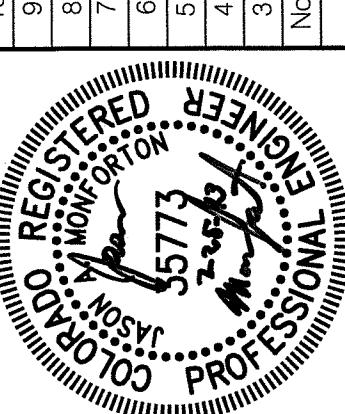
3-11-07 PER TOWN OF FIRESTONE COMMENTS

No. Date Description

REVISIONS

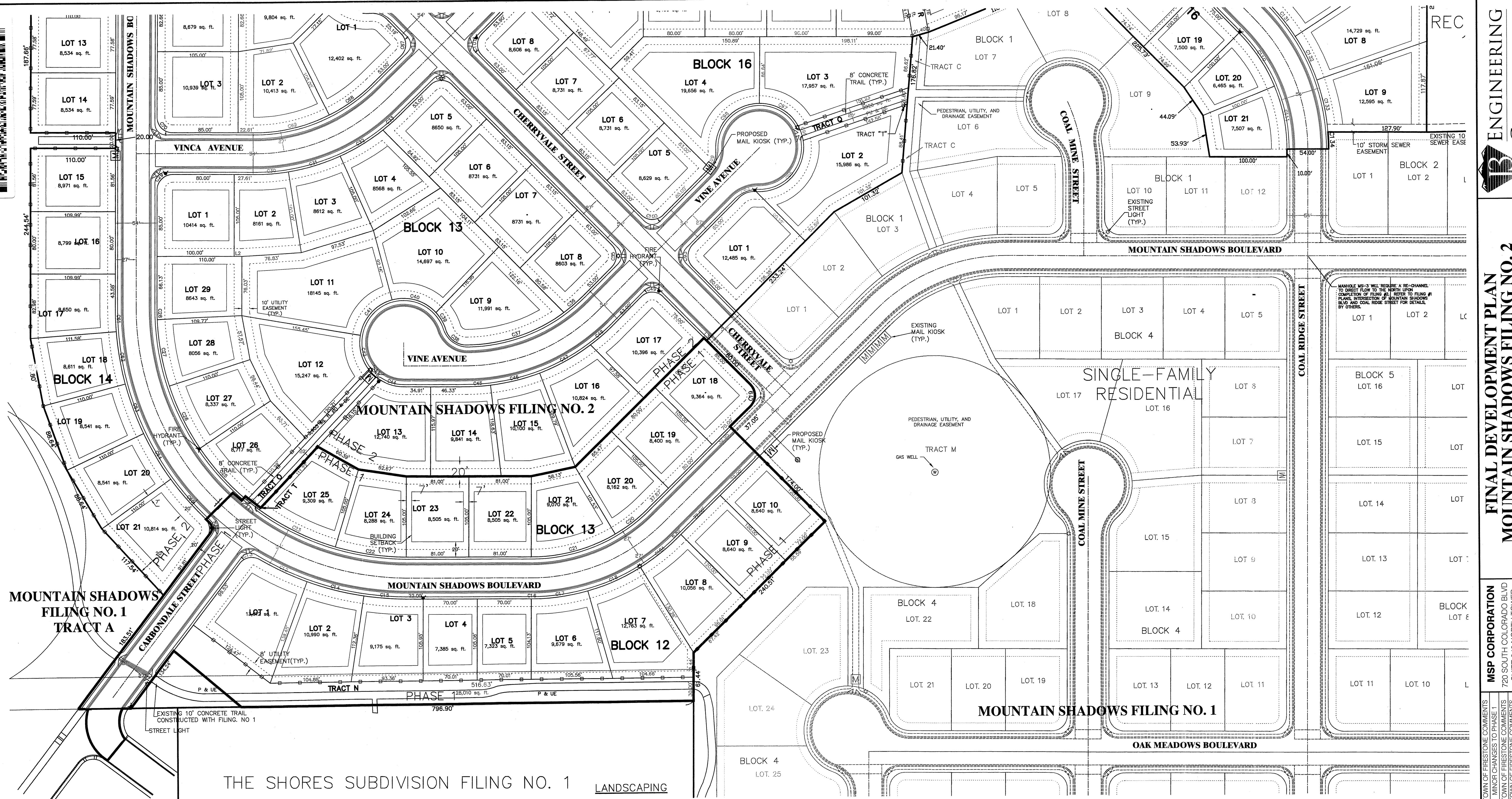


0 30 60 120
(IN FEET)
1 inch = 60 ft.



Project Number:	Drawn By:
2003002	ACE
Designed by:	JAM
Issue Date:	06/13/03
Sheet Number:	FDP3

Sheet 3 of 9



THE SHORES SUBDIVISION FILING NO. 1

LEGEND

- = PROPOSED STREET LIGHT (70 WATT POST HEAD) LOCATION
 - = EXISTING STREET LIGHT (70 WATT POST HEAD) LOCATION
 - = PROPOSED MUTCD R1-1 (30"x30" STOP SIGN) LOCATION
 - = MANDATORY TWO-RAIL PVC FENCING BY HOMEOWNER
(ABUTTING ALL TRACTS AND BOUNDARY LINES)
 - = PROPOSED MAIL KIOSK LOCATION

NOTE:

SEE FINAL PLAT FOR CURVE DIMENSIONS.

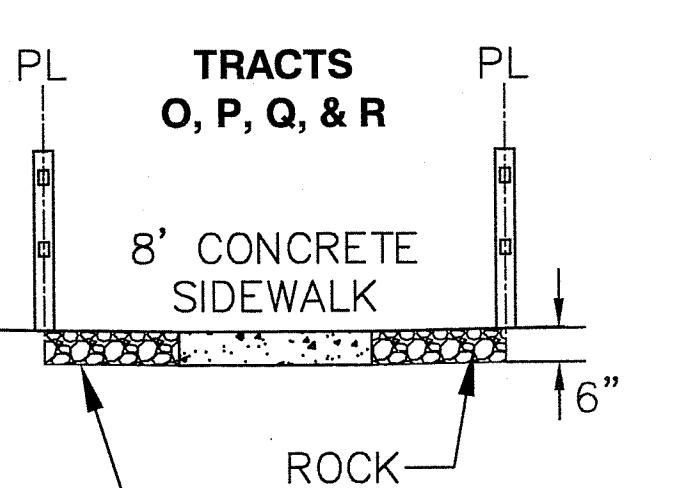
TRACTOR SHALL BE SEEDED WITH THE FOLLOWING SEED MIX:

FAIRWAY CRESTED WHEAT	25%
WESTERN WHEAT 'BARTON'	25%
LINCOLN SMOOTH BROME	15%
RUSSIAN WILD RYE	20%
BLUE GRAMA	15%
<hr/> TOTAL	100%
	250 lbs./acre (6 lbs./1,000 S.F.)

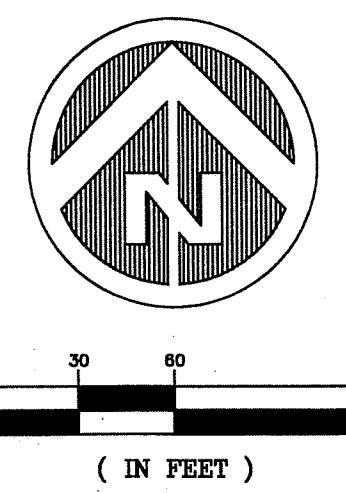
REFER TO THE RECORDED AS-BUILTS MOUNTAIN SHADOWS FILING NO. 1 FDP FOR THE LANDSCAPING AND IRRIGATION PLANS FOR TRACT A AND FOR THE IRRIGATION PLANS FOR TRACT N. TRACT N SHALL BE INTERMITTENTLY IRRIGATED.

**TRACTS O, P, Q, AND R:
NO IRRIGATION IS REQUIRED**

NO IRRIGATION IS REQUIRED.
ALL STRIPS BETWEEN THE PROPOSED 8' CONCRETE SIDEWALK AND THE TRACT BOUNDARY ARE TO BE LANDSCAPED WITH A MIX OF BUFF AND GREY COLORED 1 1/2"-3" WASHED LOCAL RIVER ROCK (60% MIX) AND 4"-6" WASHED LOCAL RIVER COBBLE (40% MIX) TO A DEPTH OF 6". INSTALL WATER PERMEABLE FILTRATION FABRIC OF FIBERGLASS OR POLYPROPYLENE FABRIC (MIRAFI, TYPAR, TREVIRA, OR APPROVED EQUAL) UNDER ROCK PER MANUFACTURERS RECOMMENDATIONS. SEE DETAIL THIS SHEET. NO IRRIGATION IS REQUIRED FOR THESE TRACTS.



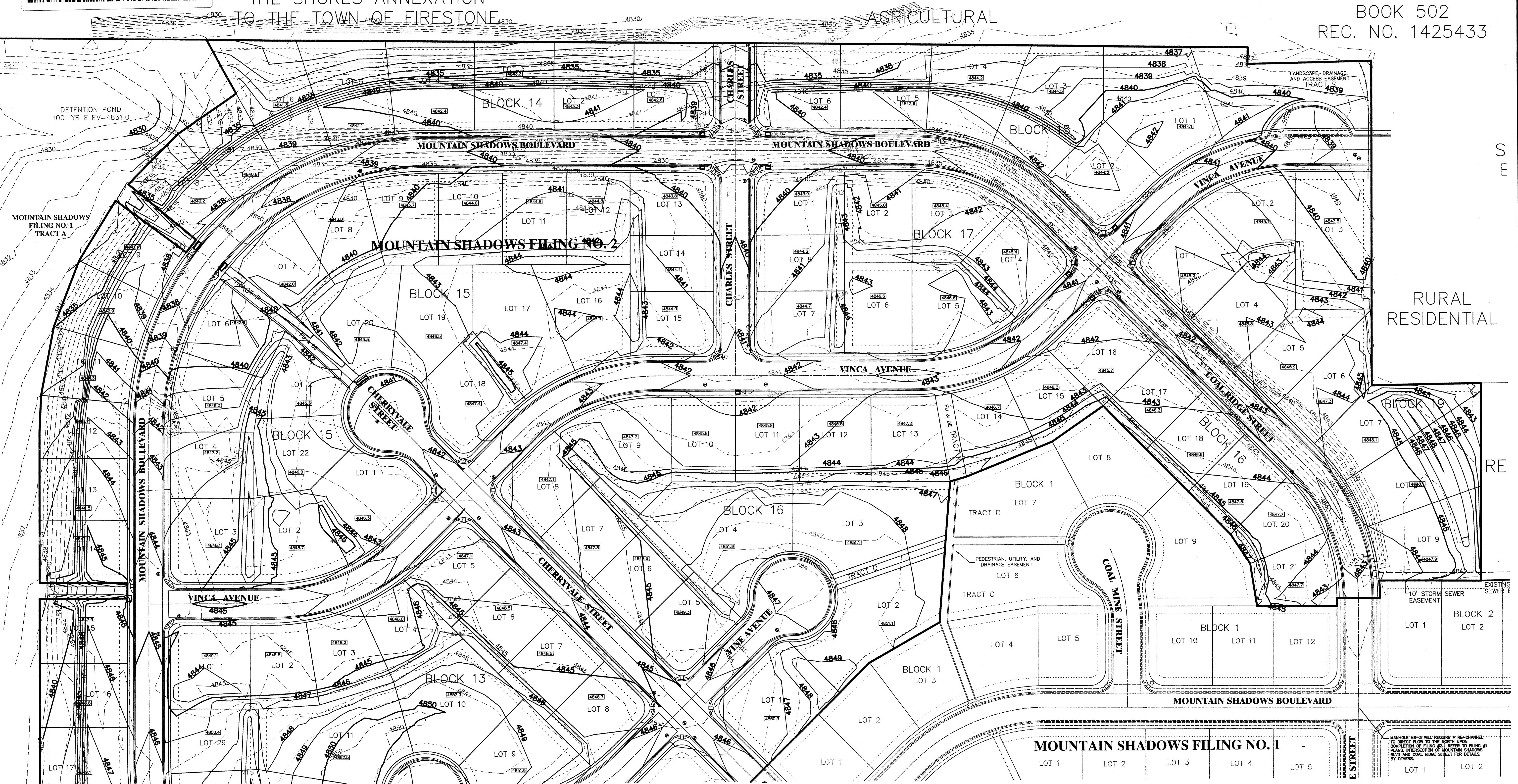
TRACT LANDSCAPING DETAIL



Firestone Information Block			
Name of Submittal:	Mountain Shadows	Drawn By:	
Type of Submittal:	F.D.P.	ACE	JAM
Filing Number:	Filing No. 2		
Phase Number:	PHASE 1 & PHASE 2		
Sheet Title:	F.D.P. SITE PLAN		
Preparation Date:	1/29/04		
Revision Date:	3/14/06		
Revision Date:	7/10/06		
Revision Date:	9/12/06		
Revision Date:	12/12/12		
Revision Date:	1/23/13		
Revision Date:	5/1/13		
Revision Date:	6/18/13		
Revision Date:	7/15/13		
Project Number:	2003002	Designed By:	JAM
Issue Date:	06/13/03	Sheet Number:	FDP4
Sheet 4 of 9			

THE SHORES ANNEXATION
TO THE TOWN OF FIRESTONE

BOOK 502
REC. NO. 1425433



FINAL DEVELOPMENT PLAN
MOUNTAIN SHADOWS FILING NO. 2

GRADING PLAN

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

ENGINEERING
CONSULTANTS

Contact: Jason A. Monforton, PE
(303) 368-5600 ~ FAX: (303) 368-5603
Email: jmonforton@3Engineering.net

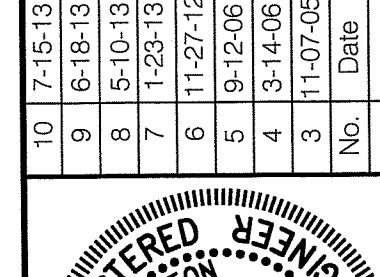
MSP CORPORATION
720 SOUTH COLORADO BLVD
SUITE 340 NORTH TOWER
DENVER, COLORADO 80246
TEL: 303-339-9804
FAX: 303-339-3631
CONTACT: MARCUS PALKOWSKI

10 7-15-13 TOWN OF FIRESTONE COMMENTS
9 6-18-13 MINOR CHANGES TO PHASE 1
8 6-10-13 TOWN OF FIRESTONE COMMENTS
7 7-23-13 TOWN OF FIRESTONE COMMENTS
6 7-12-12 RESUBMISSION TO CITY

5 9-12-06 PER TOWN OF FIRESTONE COMMENTS
4 3-14-06 PER TOWN OF FIRESTONE COMMENTS
3 1-07-05 PER TOWN OF FIRESTONE COMMENTS

No. Date Description

REVISIONS



Project Number:	Drawn By:
2003002	ACE
Designed By:	JAM
Issue Date:	06/13/03
Sheet Number:	FDP5

Firestone Information Block
Name of Submittal: Mountain Shadows
Type of Submittal: F.D.P.
Filing Number: Filing No. 2
Phase Number: PHASE 1 & PHASE 2
Street Title: E.D.P. GRADING PLAN
Preparation Date: 1/7/97 04
Revision Date: 3/3/06
Revision Date: 7/10/06
Revision Date: 8/12/06
Revision Date: 8/13/06
Revision Date: 8/23/13
Revision Date: 8/7/13
Revision Date: 6/18/13
Revision Date: 6/15/13
Sheet 5 of 9

3952379 Pages: 6 of 9

MOUNTAIN SHADOWS FILING NO. 1 TRACT A

MOUNTAIN SHADOWS FILING NO. 2

AGRICULTURAL

THE SHORES ANNEXATION TO THE TOWN OF FIRESTONE

VINCA AVENUE

CHERRYVALE STREET

VINE AVENUE

COAL RIDGE STREET

OAK MEADOWS BOULEVARD

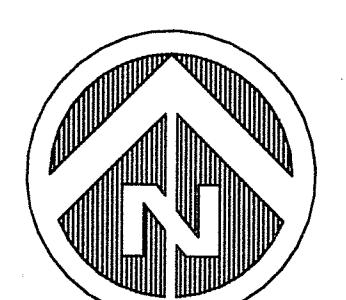
TRACT C

TRACT M

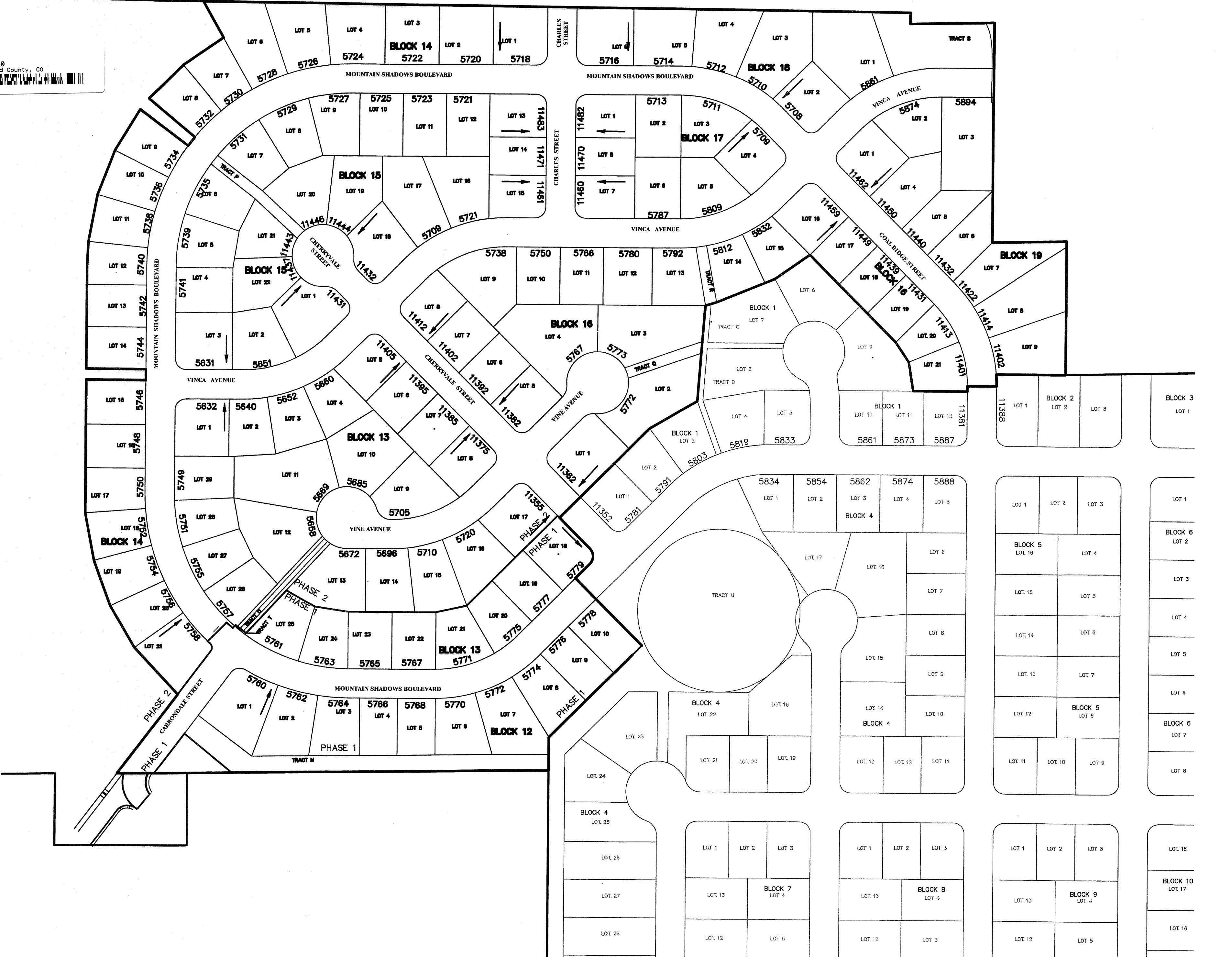
MANHOLE NO. 1 WILL REQUIRE A RE-CHANNEL TO DIRECT FLOW TO THE NORTH UPON COMPLETION OF FILING #2. REFER TO FILING #1 FOR DETAILS ON THE LOCATION AND DIRECTION OF THE NEW BLDG AND COAL RIDGE STREET FOR DETAILS BY OTHERS.

EXISTING 10' STORM SEWER EASEMENT

LOT 1 **LOT 2** **LOT 3** **LOT 4** **LOT 5** **LOT 6** **LOT 7** **LOT 8** **LOT 9** **LOT 10** **LOT 11** **LOT 12** **LOT 13** **LOT 14** **LOT 15** **LOT 16** **LOT 17** **LOT 18** **LOT 19** **LOT 20** **LOT 21** **LOT 22** **LOT 23** **LOT 24** **LOT 25** **LOT 26** **LOT 27** **LOT 28** **LOT 29** **LOT 30** **LOT 31** **LOT 32** **LOT 33** **LOT 34** **LOT 35** **LOT 36** **LOT 37** **LOT 38** **LOT 39** **LOT 40** **LOT 41** **LOT 42** **LOT 43** **LOT 44** **LOT 45** **LOT 46** **LOT 47** **LOT 48** **LOT 49** **LOT 50** **LOT 51** **LOT 52** **LOT 53** **LOT 54** **LOT 55** **LOT 56** **LOT 57** **LOT 58** **LOT 59** **LOT 60** **LOT 61** **LOT 62** **LOT 63** **LOT 64** **LOT 65** **LOT 66** **LOT 67** **LOT 68** **LOT 69** **LOT 70** **LOT 71** **LOT 72** **LOT 73** **LOT 74** **LOT 75** **LOT 76** **LOT 77** **LOT 78** **LOT 79** **LOT 80** **LOT 81** **LOT 82** **LOT 83** **LOT 84** **LOT 85** **LOT 86** **LOT 87** **LOT 88** **LOT 89** **LOT 90** **LOT 91** **LOT 92** **LOT 93** **LOT 94** **LOT 95** **LOT 96** **LOT 97** **LOT 98** **LOT 99** **LOT 100** **LOT 101** **LOT 102** **LOT 103** **LOT 104** **LOT 105** **LOT 106** **LOT 107** **LOT 108** **LOT 109** **LOT 110** **LOT 111** **LOT 112** **LOT 113** **LOT 114** **LOT 115** **LOT 116** **LOT 117** **LOT 118** **LOT 119** **LOT 120** **LOT 121** **LOT 122** **LOT 123** **LOT 124** **LOT 125** **LOT 126** **LOT 127** **LOT 128** **LOT 129** **LOT 130** **LOT 131** **LOT 132** **LOT 133** **LOT 134** **LOT 135** **LOT 136** **LOT 137** **LOT 138** **LOT 139** **LOT 140** **LOT 141** **LOT 142** **LOT 143** **LOT 144** **LOT 145** **LOT 146** **LOT 147** **LOT 148** **LOT 149** **LOT 150** **LOT 151** **LOT 152** **LOT 153** **LOT 154** **LOT 155** **LOT 156** **LOT 157** **LOT 158** **LOT 159** **LOT 160** **LOT 161** **LOT 162** **LOT 163** **LOT 164** **LOT 165** **LOT 166** **LOT 167** **LOT 168** **LOT 169** **LOT 170** **LOT 171** **LOT 172** **LOT 173** **LOT 174** **LOT 175** **LOT 176** **LOT 177** **LOT 178** **LOT 179** **LOT 180** **LOT 181** **LOT 182** **LOT 183** **LOT 184** **LOT 185** **LOT 186** **LOT 187** **LOT 188** **LOT 189** **LOT 190** **LOT 191** **LOT 192** **LOT 193** **LOT 194** **LOT 195** **LOT 196** **LOT 197** **LOT 198** **LOT 199** **LOT 200** **LOT 201** **LOT 202** **LOT 203** **LOT 204** **LOT 205** **LOT 206** **LOT 207** **LOT 208** **LOT 209** **LOT 210** **LOT 211** **LOT 212** **LOT 213** **LOT 214** **LOT 215** **LOT 216** **LOT 217** **LOT 218** **LOT 219** **LOT 220** **LOT 221** **LOT 222** **LOT 223** **LOT 224** **LOT 225** **LOT 226** **LOT 227** **LOT 228** **LOT 229** **LOT 230** **LOT 231** **LOT 232** **LOT 233** **LOT 234** **LOT 235** **LOT 236** **LOT 237** **LOT 238** **LOT 239** **LOT 240** **LOT 241** **LOT 242** **LOT 243** **LOT 244** **LOT 245** **LOT 246** **LOT 247** **LOT 248** **LOT 249** **LOT 250** **LOT 251** **LOT 252** **LOT 253** **LOT 254** **LOT 255** **LOT 256** **LOT 257** **LOT 258** **LOT 259** **LOT 260** **LOT 261** **LOT 262** **LOT 263** **LOT 264** **LOT 265** **LOT 266** **LOT 267** **LOT 268** **LOT 269** **LOT 270** **LOT 271** **LOT 272** **LOT 273** **LOT 274** **LOT 275** **LOT 276** **LOT 277** **LOT 278** **LOT 279** **LOT 280** **LOT 281** **LOT 282** **LOT 283** **LOT 284** **LOT 285** **LOT 286** **LOT 287** **LOT 288** **LOT 289** **LOT 290** **LOT 291** **LOT 292** **LOT 293** **LOT 294** **LOT 295** **LOT 296** **LOT 297** **LOT 298** **LOT 299** **LOT 300** **LOT 301** **LOT 302** **LOT 303** **LOT 304** **LOT 305** **LOT 306** **LOT 307** **LOT 308** **LOT 309** **LOT 310** **LOT 311** **LOT 312** **LOT 313** **LOT 314** **LOT 315** **LOT 316** **LOT 317** **LOT 318** **LOT 319** **LOT 320** **LOT 321** **LOT 322** **LOT 323** **LOT 324** **LOT 325** **LOT 326** **LOT 327** **LOT 328** **LOT 329** **LOT 330** **LOT 331** **LOT 332** **LOT 333** **LOT 334** **LOT 335** **LOT 336** **LOT 337** **LOT 338** **LOT 339** **LOT 340** **LOT 341** **LOT 342** **LOT 343** **LOT 344** **LOT 345** **LOT 346** **LOT 347** **LOT 348** **LOT 349** **LOT 350** **LOT 351** **LOT 352** **LOT 353** **LOT 354** **LOT 355** **LOT 356** **LOT 357** **LOT 358** **LOT 359** **LOT 360** **LOT 361** **LOT 362** **LOT 363** **LOT 364** **LOT 365** **LOT 366** **LOT 367** **LOT 368** **LOT 369** **LOT 370** **LOT 371** **LOT 372** **LOT 373** **LOT 374** **LOT 375** **LOT 376** **LOT 377** **LOT 378** **LOT 379** **LOT 380** **LOT 381** **LOT 382** **LOT 383** **LOT 384** **LOT 385** **LOT 386** **LOT 387** **LOT 388** **LOT 389** **LOT 390** **LOT 391** **LOT 392** **LOT 393** **LOT 394** **LOT 395** **LOT 396** **LOT 397** **LOT 398** **LOT 399** **LOT 400** **LOT 401** **LOT 402** **LOT 403** **LOT 404** **LOT 405** **LOT 406** **LOT 407** **LOT 408** **LOT 409** **LOT 410** **LOT 411** **LOT 412** **LOT 413** **LOT 414** **LOT 415** **LOT 416** **LOT 417** **LOT 418** **LOT 419** **LOT 420** **LOT 421** **LOT 422** **LOT 423** **LOT 424** **LOT 425** **LOT 426** **LOT 427** **LOT 428** **LOT 429** **LOT 430** **LOT 431** **LOT 432** **LOT 433** **LOT 434** **LOT 435** **LOT 436** **LOT 437** **LOT 438** **LOT 439** **LOT 440** **LOT 441** **LOT 442** **LOT 443** **LOT 444** **LOT 445** **LOT 446** **LOT 447** **LOT 448** **LOT 449** **LOT 450** **LOT 451** **LOT 452** **LOT 453** **LOT 454** **LOT 455** **LOT 456** **LOT 457** **LOT 458** **LOT 459** **LOT 460** **LOT 461** **LOT 462** **LOT 463** **LOT 464** **LOT 465** **LOT 466** **LOT 467** **LOT 468** **LOT 469** **LOT 470** **LOT 471** **LOT 472** **LOT 473** **LOT 474** **LOT 475** **LOT 476** **LOT 477** **LOT 478** **LOT 479** **LOT 480** **LOT 481** **LOT 482** **LOT 483** **LOT 484** **LOT 485** **LOT 486** **LOT 487** **LOT 488** **LOT 489** **LOT 490** **LOT 491** **LOT 492** **LOT 493** **LOT 494** **LOT 495** **LOT 496** **LOT 497** **LOT 498** **LOT 499** **LOT 500** **LOT 501** **LOT 502** **LOT 503** **LOT 504** **LOT 505** **LOT 506** **LOT 507** **LOT 508** **LOT 509** **LOT 510** **LOT 511** **LOT 512** **LOT 513** **LOT 514** **LOT 515** **LOT 516** **LOT 517** **LOT 518** **LOT 519** **LOT 520** **LOT 521** **LOT 522** **LOT 523** **LOT 524** **LOT 525** **LOT 526** **LOT 527** **LOT 528** **LOT 529** **LOT 530** **LOT 531** **LOT 532** **LOT 533** **LOT 534** **LOT 535** **LOT 536** **LOT 537** **LOT 538** **LOT 539** **LOT 540** **LOT 541** **LOT 542** **LOT 543** **LOT 544** **LOT 545** **LOT 546** **LOT 547** **LOT 548** **LOT 549** **LOT 550** **LOT 551** **LOT 552** **LOT 553** **LOT 554** **LOT 555** **LOT 556** **LOT 557** **LOT 558** **LOT 559** **LOT 560** **LOT 561** **LOT 562** **LOT 563** **LOT 564** **LOT 565** **LOT 566** **LOT 567** **LOT 568** **LOT 569** **LOT 570** **LOT 571** **LOT 572** **LOT 573** **LOT 574** **LOT 575** **LOT 576** **LOT 577** **LOT 578** **LOT 579** **LOT 580** **LOT 581** **LOT 582** **LOT 583** **LOT 584** **LOT 585** **LOT 586** **LOT 587** **LOT 588** **LOT 589** **LOT 590** **LOT 591** **LOT 592** **LOT 593** **LOT 594** **LOT 595** **LOT 596** **LOT 597** **LOT 598** **LOT 599** **LOT 600** **LOT 601** **LOT 602** **LOT 603** **LOT 604** **LOT 605** **LOT 606** **LOT 607** **LOT 608** **LOT 609** **LOT 610** **LOT 611** **LOT 612** **LOT 613** **LOT 614** **LOT 615** **LOT 616** **LOT 617** **LOT 618** **LOT 619** **LOT 620** **LOT 621** **LOT 622** **LOT 623** **LOT 624** **LOT 625** **LOT 626** **LOT 627** **LOT 628** **LOT 629** **LOT 630** **LOT 631** **LOT 632** **LOT 633** **LOT 634** **LOT 635** **LOT 636** **LOT 637** **LOT 638** **LOT 639** **LOT 640** **LOT 641** **LOT 642** **LOT 643** **LOT 644** **LOT 645** **LOT 646** **LOT 647** **LOT 648** **LOT 649** **LOT 650** **LOT 651** **LOT 652** **LOT 653** **LOT 654** **LOT 655** **LOT 656** **LOT 657** **LOT 658** **LOT 659** **LOT 660** **LOT 661** **LOT 662** **LOT 663** **LOT 664** **LOT 665** **LOT 666** **LOT 667** **LOT 668** **LOT 669** **LOT 670** **LOT 671** **LOT 672** **LOT 673** **LOT 674** **LOT 675** **LOT 676** **LOT 677** **LOT 678** **LOT 679** **LOT 680** **LOT 681** **LOT 682** **LOT 683** **LOT 684** **LOT 685** **LOT 686** **LOT 687** **LOT**



Firestone Information Block	
Name of Submittal:	Mountain Shadows
Type of Submittal:	F.D.P.
Filing Number:	Filing No. 2
Phase Number:	PHASE 1 & PHASE 2
Sheet Title:	F.D.P. GRADING PLAN
Preparation Date:	1/29/04
Revision Date:	3/14/06
Revision Date:	7/10/06
Revision Date:	9/12/06
Revision Date:	12/12/12
Revision Date:	1/23/13
Revision Date:	5/1/13
Revision Date:	6/18/13
Revision Date:	7/15/13



BLOCK 12 - FILING NO. 2

BLOCK 12 - FILING NO. 2		
LOT #	ADDRESS	STREET NAME
1	5760	MOUNTAIN SHADOWS BLVD.
2	5762	MOUNTAIN SHADOWS BLVD.
3	5764	MOUNTAIN SHADOWS BLVD.
4	5766	MOUNTAIN SHADOWS BLVD.
5	5768	MOUNTAIN SHADOWS BLVD.
6	5770	MOUNTAIN SHADOWS BLVD.
7	5772	MOUNTAIN SHADOWS BLVD.
8	5774	MOUNTAIN SHADOWS BLVD.
9	5776	MOUNTAIN SHADOWS BLVD.
10	5778	MOUNTAIN SHADOWS BLVD.

NOTES:

1. EVEN NUMBERED ADDRESSES ON THE SOUTH AND EAST SIDES OF THE STREET.
 2. ODD NUMBERED ADDRESSES ON THE NORTH AND WEST SIDES OF THE STREET.
 3. MOUNTAIN SHADOWS BOULEVARD ADDRESSING CONVENTION IS A CONTINUATION OF THE ADDRESSES FROM THE FILING NO. 1 FDP.

BLOCK 13 - FILING NO.

BLOCK 13 - FILING NO. 2		
LOT #	ADDRESS	STREET NAME
1	5632	VINCA AVE.
2	5640	VINCA AVE.
3	5652	VINCA AVE.
4	5660	VINCA AVE.
5	11405	CHERRYVALE ST.
6	11395	CHERRYVALE ST.
7	11385	CHERRYVALE ST.
8	11375	CHERRYVALE ST.
9	5705	VINE AVE.
10	5685	VINE AVE.
11	5669	VINE AVE.
12	5658	VINE AVE.
13	5672	VINE AVE.
14	5696	VINE AVE.
15	5710	VINE AVE.
16	5720	VINE AVE.
17	11355	CHERRYVALE ST.
18	5779	MOUNTAIN SHADOWS BLVD.
19	5777	MOUNTAIN SHADOWS BLVD.
20	5775	MOUNTAIN SHADOWS BLVD.
21	5771	MOUNTAIN SHADOWS BLVD.
22	5767	MOUNTAIN SHADOWS BLVD.
23	5765	MOUNTAIN SHADOWS BLVD.
24	5763	MOUNTAIN SHADOWS BLVD.
25	5761	MOUNTAIN SHADOWS BLVD.
26	5757	MOUNTAIN SHADOWS BLVD.
27	5755	MOUNTAIN SHADOWS BLVD.
28	5751	MOUNTAIN SHADOWS BLVD.
29	5749	MOUNTAIN SHADOWS BLVD.

BLOCK 14 - FILING NO. 2

BLOCK 14 - FILING NO. 2		
LOT #	ADDRESS	STREET NAME
1	5718	MOUNTAIN SHADOWS BLVD.
2	5720	MOUNTAIN SHADOWS BLVD.
3	5722	MOUNTAIN SHADOWS BLVD.
4	5724	MOUNTAIN SHADOWS BLVD.
5	5726	MOUNTAIN SHADOWS BLVD.
6	5728	MOUNTAIN SHADOWS BLVD.
7	5730	MOUNTAIN SHADOWS BLVD.
8	5732	MOUNTAIN SHADOWS BLVD.
9	5734	MOUNTAIN SHADOWS BLVD.
10	5736	MOUNTAIN SHADOWS BLVD.
11	5738	MOUNTAIN SHADOWS BLVD.
12	5740	MOUNTAIN SHADOWS BLVD.
13	5742	MOUNTAIN SHADOWS BLVD.
14	5744	MOUNTAIN SHADOWS BLVD.
15	5746	MOUNTAIN SHADOWS BLVD.
16	5748	MOUNTAIN SHADOWS BLVD.
17	5750	MOUNTAIN SHADOWS BLVD.
18	5752	MOUNTAIN SHADOWS BLVD.
19	5754	MOUNTAIN SHADOWS BLVD.
20	5756	MOUNTAIN SHADOWS BLVD.
21	5758	MOUNTAIN SHADOWS BLVD.

BLOCK 15 - FILING NO. 2

STREET NAME

CHERRYVALE ST.

VINCA AVE.

VINCA AVE.

MOUNTAIN SHADOWS BLVD.

CHARLES ST.

CHARLES ST.

CHARLES ST.

VINCA AVE.

VINCA AVE.

CHERRYVALE ST.

CHERRYVALE ST.

CHERRYVALE ST.

CHERRYVALE ST.

CHERRYVALE ST.

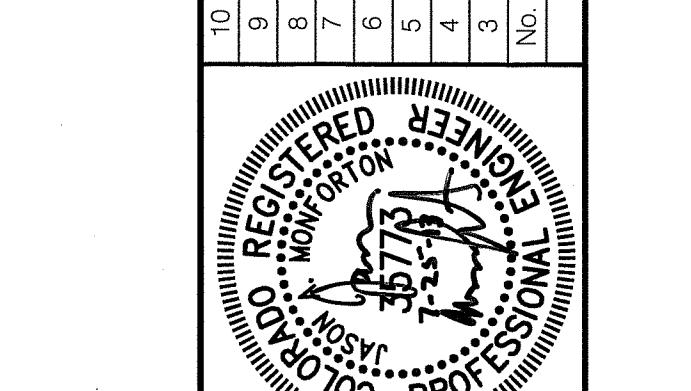
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STREET NAME

CHERRYVALE ST.
VINE AVE.
VINE AVE.
VINE AVE.
CHERRYVALE ST.
CHERRYVALE ST.
CHERRYVALE ST.
CHERRYVALE ST.
VINCA AVE.
COAL RIDGE ST.
COAL RIDGE ST.

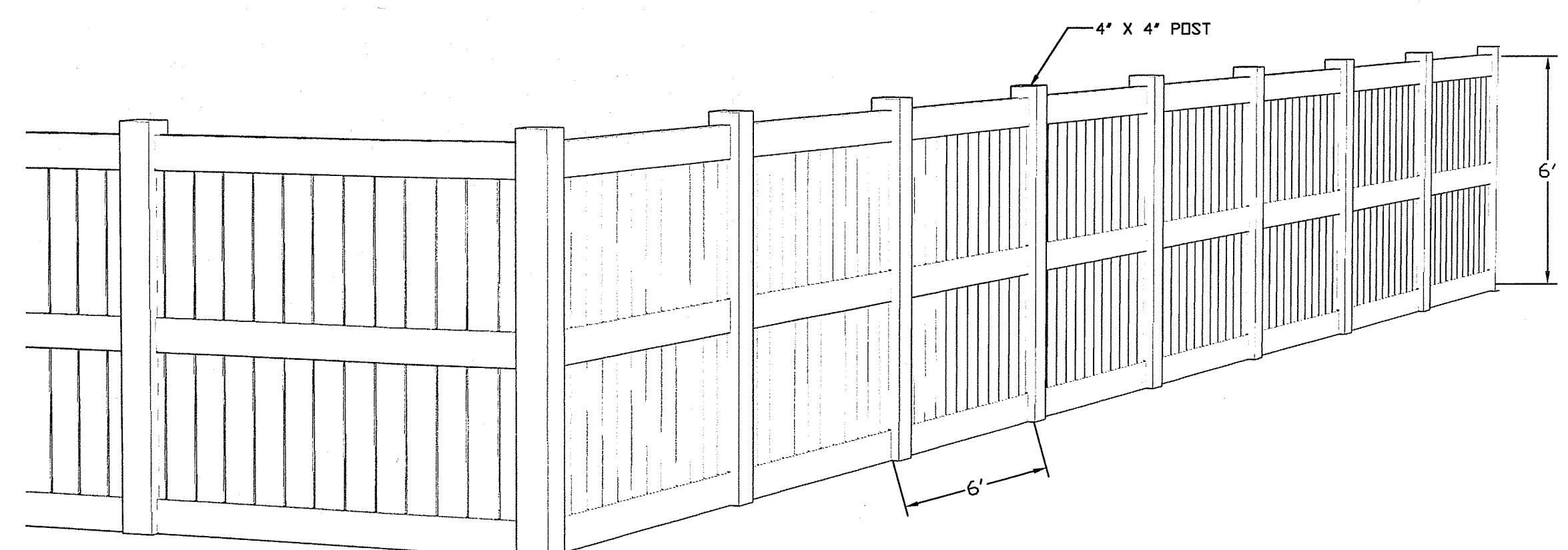
BLOCK 17 - FILING NO. 2
STREET NAME

CHARLES ST.
MOUNTAIN SHADOWS BLVD.
MOUNTAIN SHADOWS BLVD.
MOUNTAIN SHADOWS BLVD.
VINCA AVE.
VINCA AVE.
CHARLES ST.
CHARLES ST.

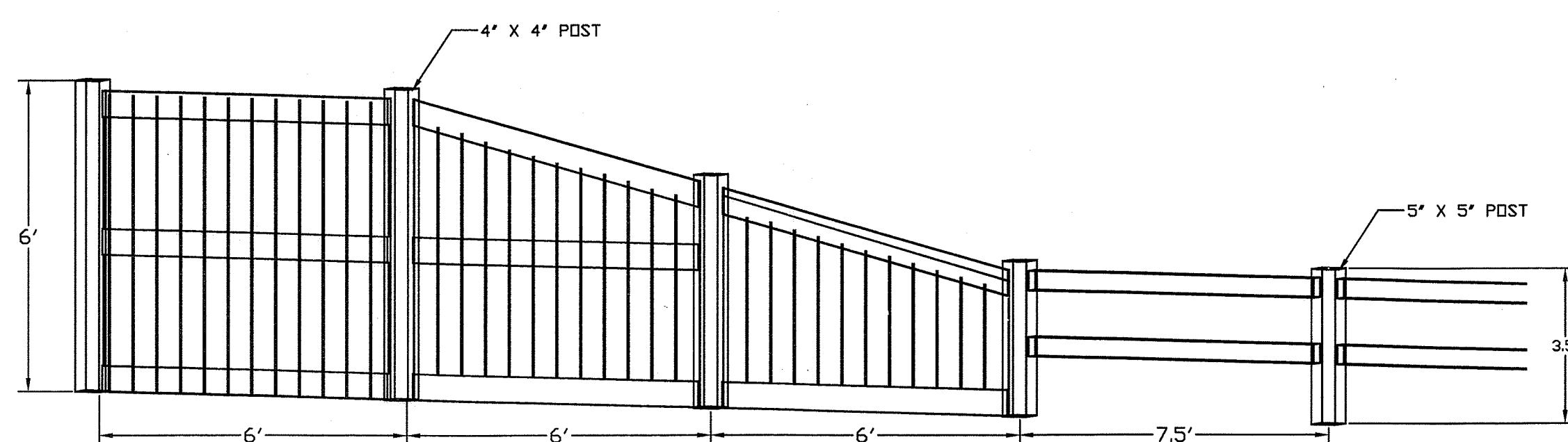
BLOCK 18 - FILING NO. 2
STREET NAME
VINCA AVE.
MOUNTAIN SHADOWS BLVD.
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MOUNTAIN SHADOWS BLVD.
MOUNTAIN SHADOWS BLVD.



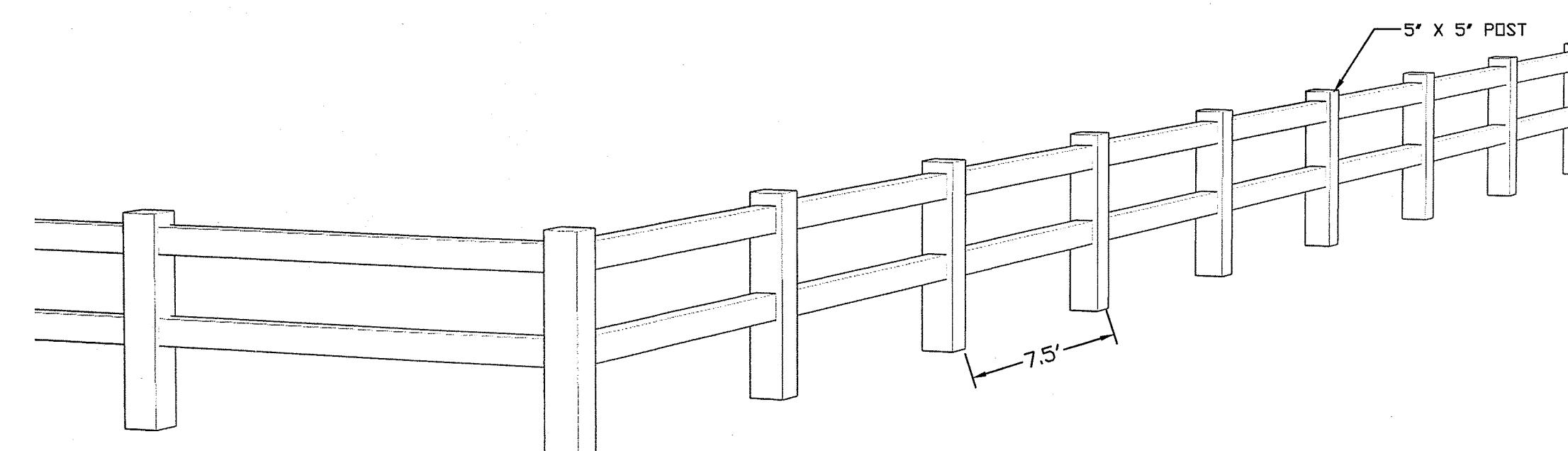
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Name of Submittal:	Mountain Shadows
Date of Submittal:	F.D.P.
File Number:	Filing No. 2
Phase Number:	PHASE 1 & PHASE 2
Set Title:	F.D.P. ADDRESS PLAN
Preparation Date:	1/29/04
Review Date:	3/14/06
Issue Date:	7/10/06
Revision Date:	9/12/06
Revision Date:	12/12/12
Revision Date:	1/23/13
Revision Date:	5/1/13
Revision Date:	6/18/13
Revision Date:	7/15/13
Project Number:	2003002
Drawn By:	ACE
Checked By:	JAM
Designed By:	JAM
Issue Date:	06/13/03
Sheet Number:	FDP7



6 FOOT PRIVACY FENCING
(TYPICAL)



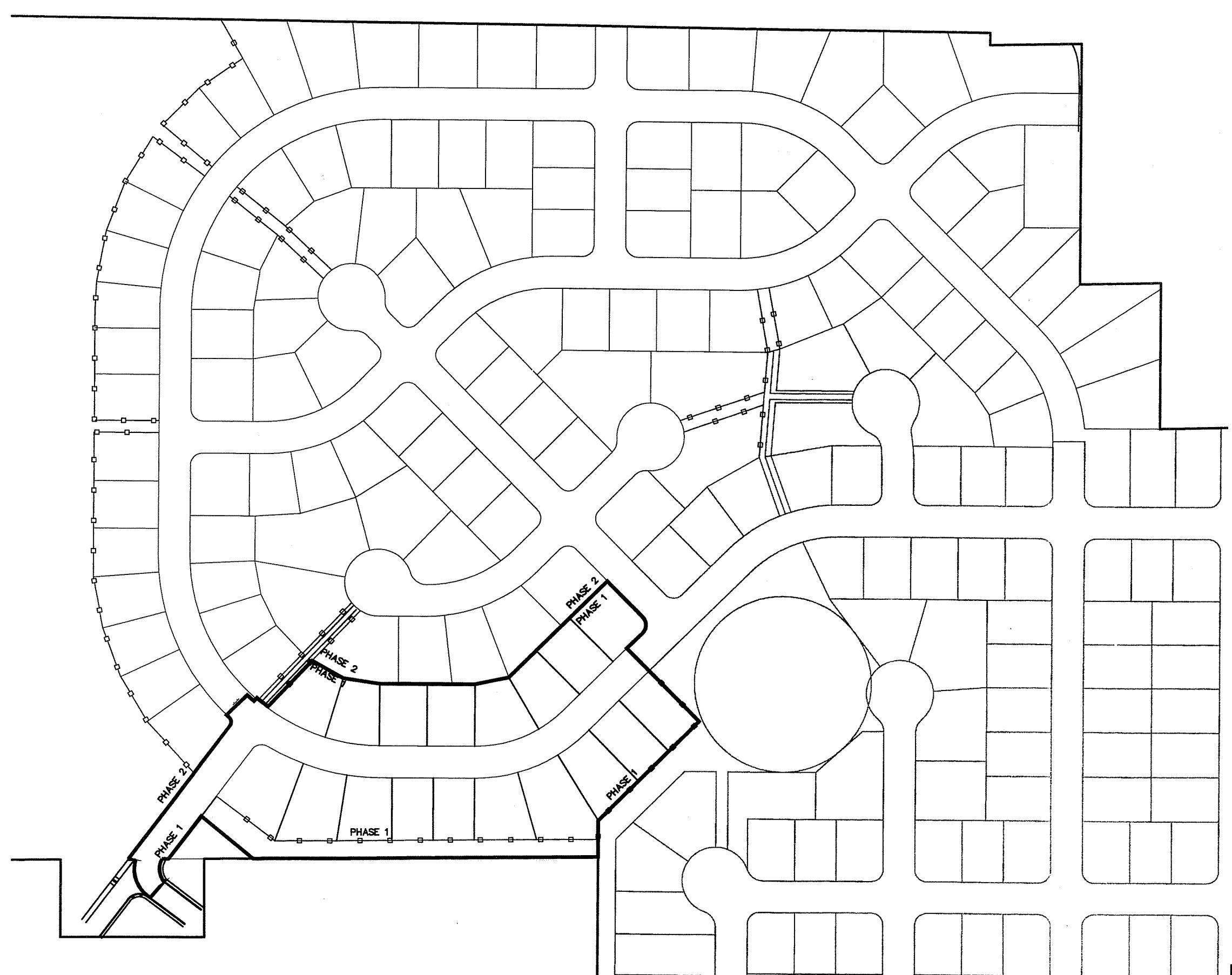
TAPER BETWEEN PRIVACY & TWO RAIL
FENCING
(TYPICAL)



TWO RAIL FENCING
(TYPICAL)

NOTES:

1. FENCING SHALL COMPLY WITH ASTM D 4216-STANDARD SPECIFICATIONS FOR RIGID PVC BUILDING PRODUCTS.
2. COLORS, TEXTURES AND DESIGN OF BOTH TWO RAIL AND PRIVACY FENCING SHALL BE SPECIFICALLY SIMILAR TO THE EXISTING FENCING OF HIS TYPE AS SEEN IN THE MOUNTAIN SHADOWS FILING NO. 1, DEVELOPMENT, FIRESTONE COLORADO.
3. TWO RAIL FENCING SHALL BE USED ALONG ALL LOT LINES THAT BORDER A PEDESTRIAN ACCESS TRAIL.
4. 6-FOOT TALL PVC IS THE MAXIMUM HEIGHT OF FENCING AND IS ALLOWED FOR REAR LOTS AND SIDE YARD FENCING, EXCEPT AS NOTED ABOVE.
5. TWO RAIL SPACING SHALL GENERALLY BE APPROXIMATELY 11-INCHES APART.
6. POST SPACING SHALL BE BASED ON MANUFACTURERS RECOMMENDED SPACING.
7. AT A MINIMUM, POSTS SHALL BE CAPPED AND INSTALLED BASED ON THE MANUFACTURERS RECOMMENDED INSTALLATION PROCEDURES.
8. LOTS WITH SIDE AND REAR LOT LINES BORDERING TRACTS OR ANY BOUNDARY LINE SHALL HAVE TWO-RAIL FENCING INSTALLED BY THE HOMEOWNER. ALL FENCING FOR RESIDENTIAL LOTS SHALL BE THE RESPONSIBILITY OF THE HOMEOWNER.
9. TAPERS BETWEEN 6 FOOT PRIVACY FENCING AND TWO-RAIL SHALL APPLY AS SHOWN.
10. FENCING BY HOMEOWNER SHALL BE INSTALLED WITHIN 2 MONTHS OF ISSUANCE OF C.O.
11. REFER TO THE PLAN BELOW FOR MANDATORY TWO-RAIL FENCING LOCATIONS. ALL OTHER FENCING SHALL BE PRIVACY FENCING.



LEGEND

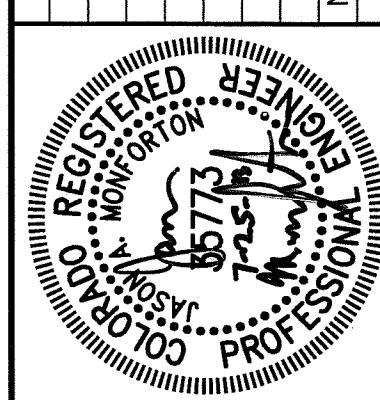
— = MANDATORY TWO-RAIL PVC FENCING BY HOMEOWNER
(ABUTTING ALL TRACTS AND BOUNDARY LINES)

Engineering
Consultants
Contact: Jason A. Monforton, PE
6505 S. Park St., Suite B - Centennial, CO 80116-6500
(303) 368-5601 - FAX: (303) 368-5603
Email: jmonforton@Engineering.net

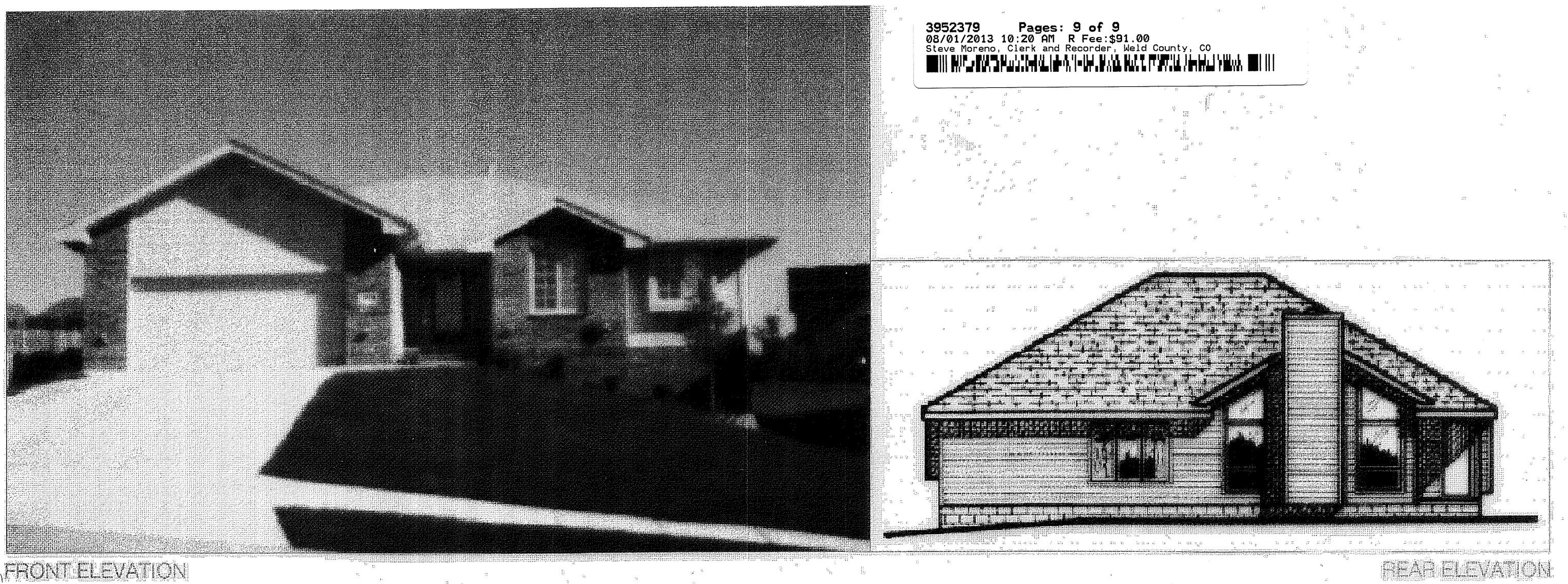
FINAL DEVELOPMENT PLAN
MOUNTAIN SHADOWS FILING NO. 2

FENCE DETAILS
TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

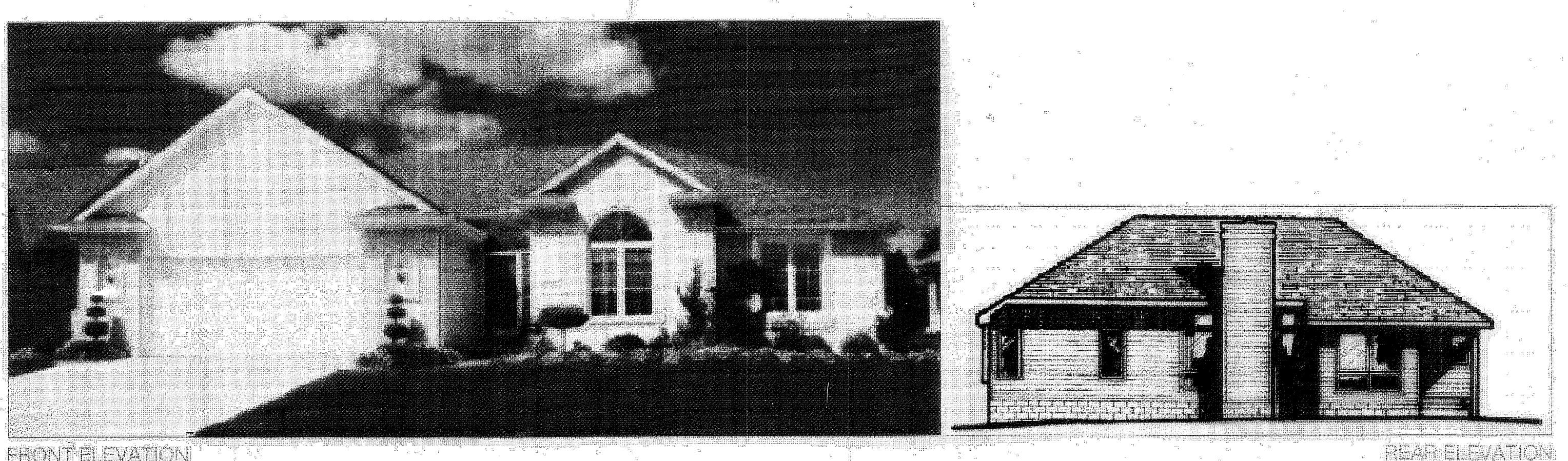
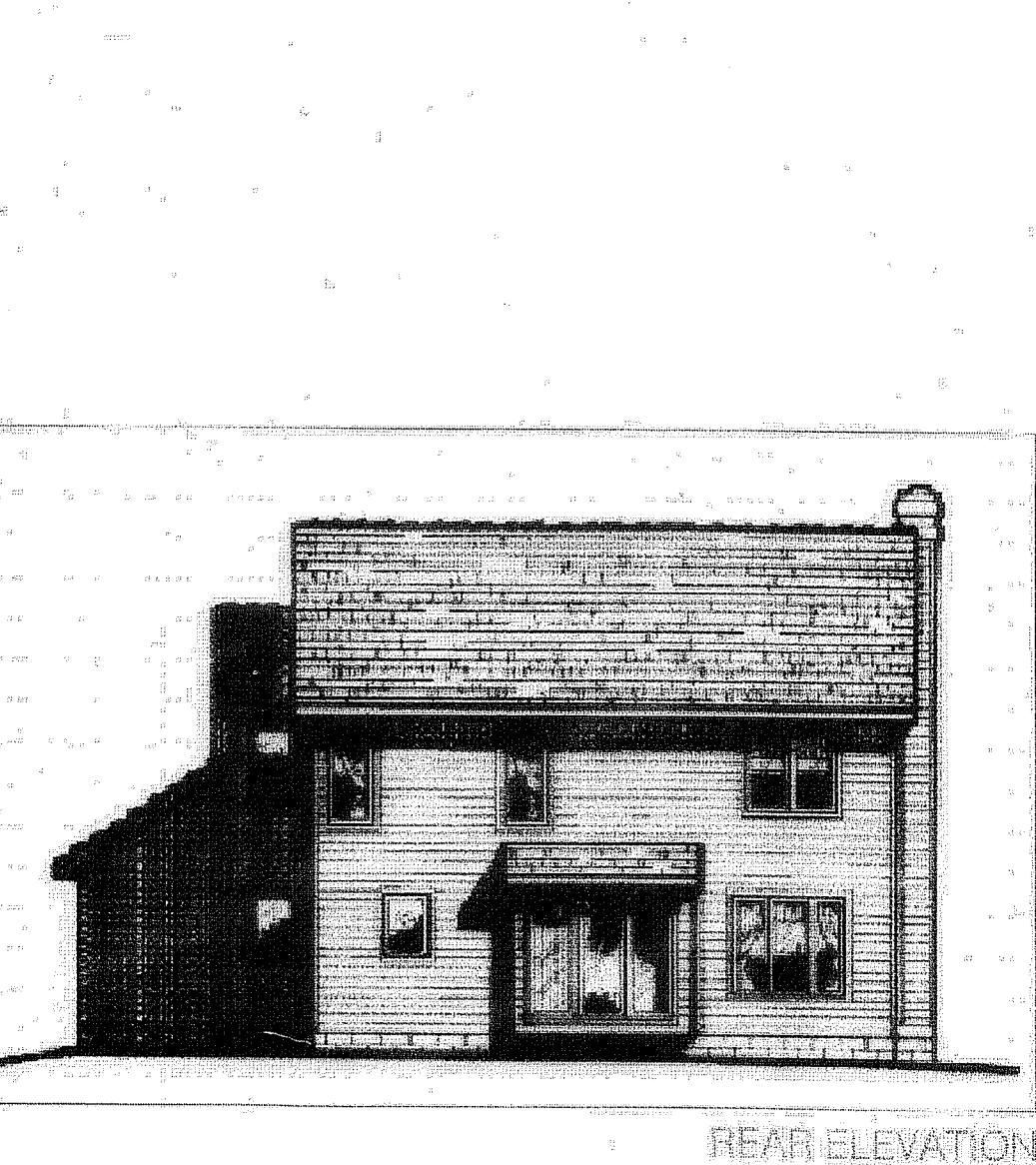
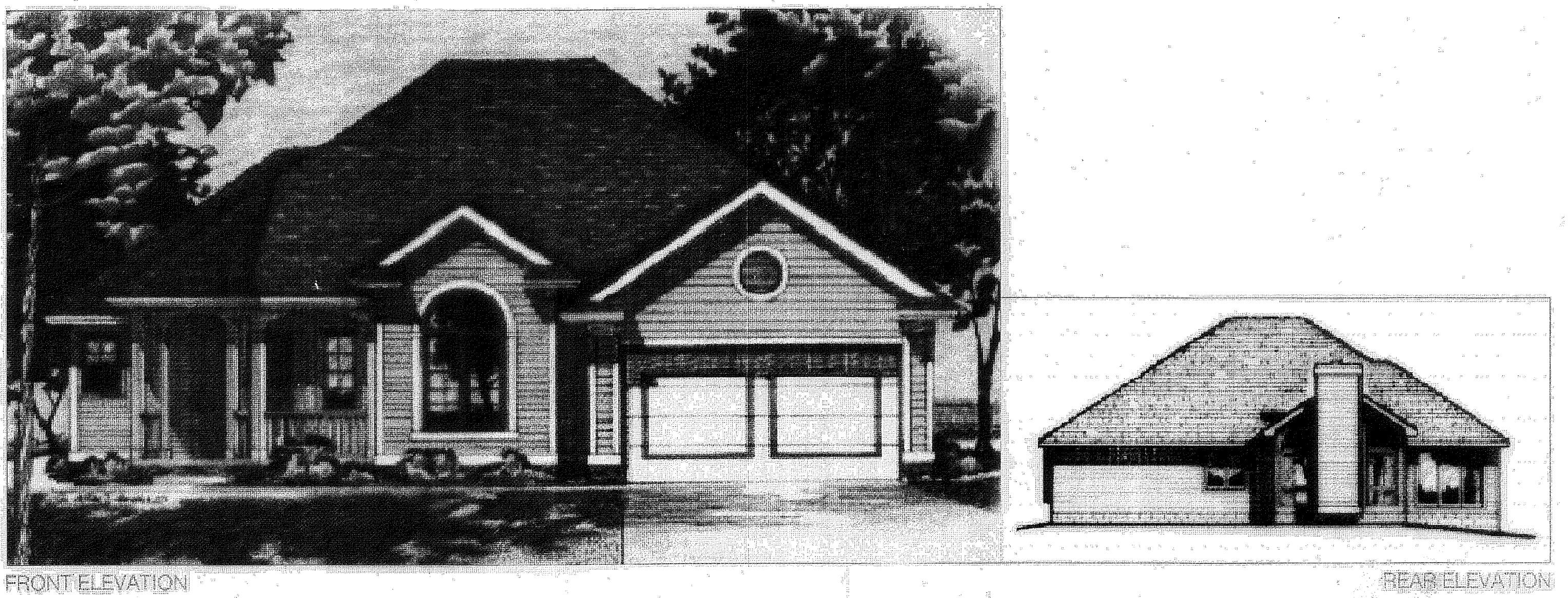
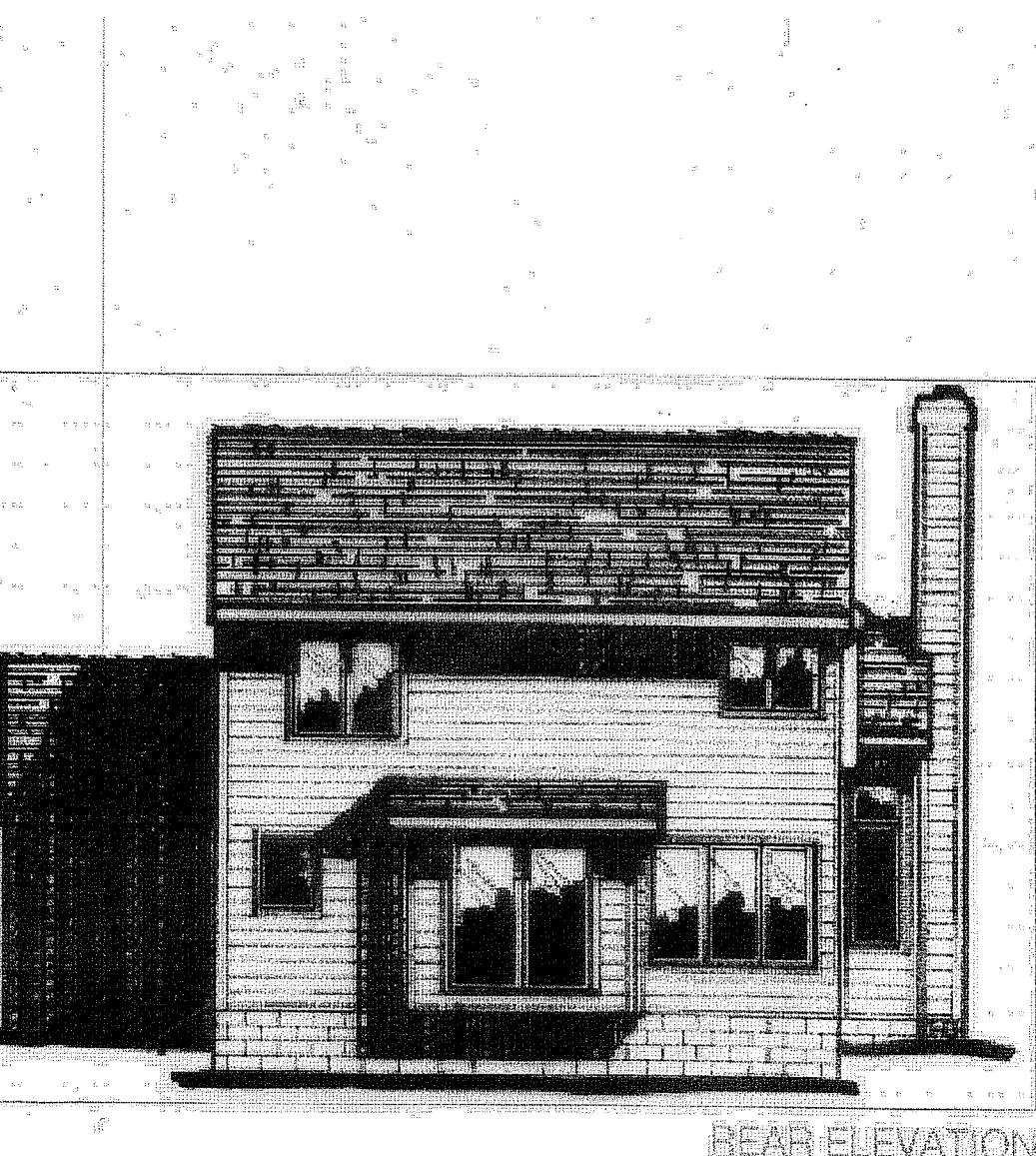
MSP CORPORATION	10 7-15-13 TOWN OF FIRESTONE COMMENTS 9 6-18-13 MINOR CHANGES TO PHASE 1 8 5-10-13 TOWN OF FIRESTONE COMMENTS 7 1-23-13 TOWN OF FIRESTONE COMMENTS 6 11-13-12 RESUBMISSION TO CITY
Project Number:	10 7-15-13 TOWN OF FIRESTONE COMMENTS
Drawn By:	9 6-18-13 MINOR CHANGES TO PHASE 1
Designed By:	8 5-10-13 TOWN OF FIRESTONE COMMENTS
Checked By:	7 1-23-13 TOWN OF FIRESTONE COMMENTS
Approved By:	6 11-13-12 RESUBMISSION TO CITY
Filing Number:	Filing No. 2
Phase Number:	PHASE 1 & PHASE 2
Sheet Title:	F.D.P. FENCE DETAILS
Preparation Date:	1/29/04
Review Date:	1/29/04
Revision Date:	7/10/06
Revision Date:	9/12/06
Revision Date:	12/12/12
Revision Date:	1/23/13
Revision Date:	5/1/13
Revision Date:	6/1/13
Revision Date:	7/15/13
Issue Date:	06/13/03
No. Date	Description
Sheet Number:	FDP8
	REVISIONS



Firestone Information Block
Name of Submittal: Mountain Shadows
Type of Submittal: F.D.P.
Filing Number: Filing No. 2
Phase Number: PHASE 1 & PHASE 2
Sheet Title: F.D.P. FENCE DETAILS
Preparation Date: 1/29/04
Review Date: 1/29/04
Revision Date: 7/10/06
Revision Date: 9/12/06
Revision Date: 12/12/12
Revision Date: 1/23/13
Revision Date: 5/1/13
Revision Date: 6/1/13
Revision Date: 7/15/13
Sheet 8 of 9



3952379 Pages: 9 of 9
05/01/2013 10:29 AM R Fee:\$91.00
Steve Moreno, Clerk and Recorder, Weld County, CO



NOTE:
THE ARCHITECTURAL ELEVATIONS SHOWN HEREON
ARE INTENDED ONLY TO DEPICT THE ARCHITECTURAL
QUALITY AND CHARACTER OF HOUSING WITHIN THE
SUBDIVISION AND MAY VARY BY SPECIFIC BUILDER.

Firestone Information Block	
Name of Submittal:	Mountain Shadows
Type of Submittal:	E.D.P.
Filing Number:	Filing No. 2
Phase Number:	Phase 1 and 2
Sheet Title:	Architectural Elevations
Preparation Date:	1/29/04
Revision Date:	7/17/05
Revision Date:	7/17/06
Revision Date:	7/18/06
Revision Date:	9/12/06
Revision Date:	12/12/12
Revision Date:	1/23/13
Revision Date:	5/01/13
Revision Date:	7/15/13

Sheet 9 of 9

FINAL DEVELOPMENT PLAN MOUNTAIN SHADOWS FILING NO. 2

B ENGINEERING
CONSULTANTS



Contact: Jason A. Monforton, PE
650 S Park St., Suite B - Centennial, CO 80111-6503
(303) 365-5601 - FAX: (303) 365-5603
Email: jmonforton@31Engineering.net

TYPICAL BUILDING ELEVATIONS

TOWN OF FIRESTONE, COUNTY OF WELD, STATE OF COLORADO

Project Number:	Drawn By:	Checked By:
2003002	ACE	JAM
8	7 5013 PER TOWN OF FIRESTONE COMMENTS	7 1303 PER TOWN OF FIRESTONE COMMENTS
	6 5127 RESUBMISSION TO CITY	5 12712 PER TOWN OF FIRESTONE COMMENTS
	4 9126 PER TOWN OF FIRESTONE COMMENTS	3 1446 PER TOWN OF FIRESTONE COMMENTS
	3 1476 PER TOWN OF FIRESTONE COMMENTS	2 14765 PER TOWN OF FIRESTONE COMMENTS
	1 1294 PER TOWN OF FIRESTONE COMMENTS	No Date Description
		REVISIONS